



Michael Fleming
Chairman

Chris Beloff
Frank Franco
Michelle Piccolo-Hill
Benito Martinez
Thomas Walsh

TOWN OF CORTLANDT

ZONING BOARD OF APPEALS

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914.734.1080

Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Cristin Jacoby
Robert Mayes
Joyce C. White

Zoning Board of Appeals Work Session & Meeting

Thursday July 16, 2026

To join the meeting remotely, use this Zoom link:

<https://us02web.zoom.us/j/81878151627?pwd=idBU9ZQaEmQL2VagsKAho6QxWERIf.1>

WORK SESSION 6:30 pm

Discuss items on tonight's Zoning Board of Appeals Meeting Agenda

MEETING AGENDA7:00* pm

1. Pledge of Allegiance
2. Roll Call
3. Adoption of the minutes from previous month
4. Continued Public Hearing

A. ZBA 2026-4 – 299 Broadway

Application of Marco Mandra, RA for the property of Paul Barilla, for an area variance for accessory structure coverage related to the proposed construction of a detached garage located at 299 Broadway, Verplanck.

5. New Public Hearing(s)

A. ZBA 2026-6 – 0 (17) Lancaster Avenue

Application by Andy Cheung of AC Engineering PLLC for the property of 18 Travis Ave LLC, for four area variances related to the proposed construction of a single-family home on an existing, vacant lot at 0 (17) Lancaster Avenue (located between 15 and 19 Lancaster), Montrose. The applicant requests variances for minimum side yard setback, maximum allowable floor area, maximum building coverage, and minimum lot area.

B. ZBA 2026-8 – 10 Croton Avenue

Application of Steven J. Basini, RA for the property of Lauro and Alicia Uruchima, for an area variance related to front yard setback for a proposed addition to a pre-existing, dimensionally non-conforming single-family home located at 10 Croton Avenue.

Next Regular Meeting: Thursday August 17th, 2026

**Regular meeting to begin at the conclusion of the work session*

ZONING BOARD OF APPEALS FACT SHEET

REVISED for July 2026 ZBA Meeting

ZBA Member Assigned: Franco

ZBA Case #: 2026-4

Name of Applicant: Marco Mandra, R.A. on behalf of Paul Barilla
Owner: Paul Barilla
Address of property: 299 Broadway
Section, Block, Lot: 43.18-1-24
Prior ZBA Case No.: N/A
Zone: R-15
Lot Size: 39,440 SF | 0.91-acre

Variance(s) Requested: Area variance per §307-17 Attachment 3, Table of Dimensional Regulations, as follows:

Accessory Structure Coverage:

Maximum Allowed = 869 SF
Proposed = 2,196 SF ~~2,410 SF~~
Relief sought = 1,327 SF (153%) ~~1,541 SF (177%)~~

Updated Staff Comments: The applicant has revised the detached garage design to be 40' x 38', for a footprint of 1,520 SF (a reduction of 160 SF). They are also proposing to remove an existing hot tub of ±54 SF in order to reduce the total accessory structure coverage by 214 SF, down to 2,196 SF from 2,410 SF. The location of the garage has been altered, shifting to the opposite corner of the backyard, and they have added a few windows to the north and east elevations.

Previous Staff Comments: The Code Enforcement office received a building permit application on May 16, 2026 for the construction of a 1,680 SF detached garage (40' x 42') to be located behind the single-family residence at 299 Broadway. Per the zoning code, the total footprint of all accessory buildings cannot exceed 50% of the floor area of the principal building. The proposed garage is only 58 SF smaller than the principal building. The principal building has a floor area of 1,738 SF, permitting up to 869 SF of accessory coverage. The applicant is proposing to remove two sheds totaling 186 SF, with two other accessory structures totaling 730 SF to remain. Those two remaining accessory structures plus the proposed garage total 2,410 SF of accessory coverage. The proposed request represents almost triple (277%) the allowed amount of accessory coverage.

SEQR: TYPE II – No further compliance required.

Aerial View of 299 Broadway





TOWN OF CORTLANDT

DEPARTMENT OF TECHNICAL SERVICES

Michael Preziosi, P.E.
Director D.O.T.S.

John Schembari
Dir. Code Enforcement

Arthur D'Angelo, Jr., P.E.
Deputy Dir. D.O.T.S.

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914-734-1060
Fax #: 914-734-1066

Town Supervisor
Richard H. Becker, M.D.

Town Board
James F. Creighton
Cristin Jacoby
Robert E. Mayes
Joyce White

July 9, 2026

Marco Mandra Architecture
299 Broadway Verplanck NY 10596

Re:

A-26-305 – The Applicant is proposing to construct an Accessory Garage.

Tax ID 43.18-1-24

Dear Marco Mandra,

The Town of Cortlandt Department of Technical Services has reviewed the above referenced applications for conformance to the Town's Zoning Code and the review of the submitted Site development plan on July 9, 2026

At this time, the application has been denied under Town Code Ch. 307 – 17 Zoning, Attachment 3, Table of Dimensional Regulations, Residential Districts requirements of maximum building coverage.

The Applicant is requesting relief as follows as shown on A-001 "Site Plan and Zoning Analysis" prepared by Marco Mandra, Architecture.

Permitted to have 869 Sq. Ft. of accessory coverage, and is proposing 2,196 Sq. Ft. requiring an Area variance of 1,327 Sq. Ft. for all of the accessory structure coverage.

With this denial, you may now apply Online for a Zoning Board of Appeals proceeding. Upload this denial letter, the above referenced plans, and all required information outlined on the ZBA Application. Please upload .pdfs of all documents, to scale with digital seal and signature of the design professional of record.

Upload the following:

- 1.Existing property survey
- 2.Revised A-001, Site plan and Zoning Analysis
3. Revised project letter

Sincerely,

John Schembari
Director of Code Enforcement

Cc: Chris Kehoe – Community Development and Planning
Michael Cunningham, P.E. – Deputy Town Attorney Town Board



July 6, 2026
REVISED PROJECT NARRATIVE
AREA VARIANCE APPLICATION
299 BROADWAY, VERPLANCK, NY 10596
TAX ID: 43.18-1-24

The applicant proposes the construction of a new 40' x 38' detached accessory garage to serve the existing single-family residence located at 299 Broadway, Verplanck, NY. The garage will be used solely for residential accessory purposes, including vehicle parking and storage.

The application has been revised to reduce the requested variance and lessen potential visual impacts. The garage has been reduced from 40' x 42' to 40' x 38', reducing the garage area by approximately 160 square feet. The existing hot tub, consisting of approximately 54 square feet, is also proposed to be removed. Together, these revisions reduce the requested accessory structure area variance by approximately 214 square feet.

As revised, the property is permitted 869 square feet of accessory structure area and proposes approximately 2,196 square feet, requiring an Area Variance of approximately 1,327 square feet. The proposed garage complies with the applicable setback and height requirements; the requested relief is limited to accessory structure floor area.

The revised plan also relocates the garage to the opposite side of the rear yard, where it is less visible from the road and better screened by existing site vegetation. Photographs have been added to the submission to document the existing vegetation and screening conditions. Windows and shutters have also been added to the garage elevations to provide a more residential appearance and reduce the commercial character of the structure.

The applicant respectfully submits that the revised proposal will not create an undesirable change to the neighborhood, will not result in adverse environmental or physical impacts, and has been modified to reduce the requested relief while still meeting the property owner's residential storage and parking needs.

The applicant respectfully requests that the Zoning Board of Appeals grant the requested Area Variance relief.

Sincerely:

MANDRA WORKSHOP, PLLC

Marco S. Mandra, Principal





VIEW 1



VIEW 2



VIEW 3



VIEW 4



1 SITE PLAN
1/16" = 1'-0"

SITE PLAN NOTE:
THIS SITE PLAN HAS BEEN PREPARED REFERENCING A
PROPERTY SURVEY PROVIDED BY THE OWNER AND PREPARED
BY ROWAN LAND SURVEYING, PLLC, 330 OLD ALBANY POST RD
GARRISON, NY 10524, & DATED 11-18-2025

BULK TABLE REQUIREMENTS

ZONING INFORMATION	ZONE:	R-15 SINGLE FAMILY RESIDENTIAL	
	USE:	SINGLE-FAMILY RESIDENCE	
	PERMITTED:	BY RIGHT	
<u>MINIMUM REQUIRED</u>			
	<u>MIN REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
LOT AREA	15,000 SF	39,440 SF	NO CHANGE
MIN WIDTH	80 FT	+/- 157.76 FT	NO CHANGE
LANDSCAPE COVERAGE	50% (19,720 SF)	72% (28,681 SF)	64.1% (25,306 SF)
<u>YARD SETBACKS</u>			
	<u>MIN REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
FRONT	35 FT	38.9 FT	NO CHANGE
REAR	25 FT	162.7 FT	NO CHANGE
SIDE	20% MIN OF 10 FT	43.9 FT/49.7ft	NO CHANGE
<u>MAXIMUM PERMITTED</u>			
	<u>PERMITTED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
FLOOR AREA	4,750 SF	1,738 SF	NO CHANGE
BUILDING COVERAGE	3,087.50 SF (65% OF FAR)	+/- 1,988 SF	NO CHANGE
BUILDING HEIGHT	2 1/2 OR 35 FT	1 STORY	NO CHANGE
<u>ACCESSORY STRUCTURE</u>			
<u>MAXIMUM PERMITTED</u>			
	<u>PERMITTED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
FLOOR AREA	50% OF PRINCIPAL (869 SF)	916 SF	2,196 SF (REQUIRES AREA VARIANCE OF 1,327 SF)
BUILDING HEIGHT	10FT AFF TO T.O. TOP PLATE + 7 TO T.O. RIDGE	10FT AFF TO T.O. TOP PLATE + 7 TO T.O. RIDGE	
<u>YARD SETBACKS</u>			
	<u>MIN REQUIRED</u>	<u>PROPOSED</u>	
FRONT	NP	198 FT	
REAR	6 FT	10 FT	
SIDE	6 FT	10 FT	

PROJECT INFORMATION

OWNER	NAME
PROJECT	SINGLE FAMILY RESIDENCE
LOCATION	299 BROADWAY VERPLANCK, NY 10596
TAX ID	43.18-1-24
TYPE OF PROJECT	ACCESSORY GARAGE ADDITION
APPLICABLE CODES	2025 RESIDENTIAL CODE NEW YORK STATE
CONSTRUCTION TYPE	TYPE IIB
PROJECT DESCRIPTION: ADDITION FOR A NEW 40'X42' METAL ACCESSORY GARAGE	

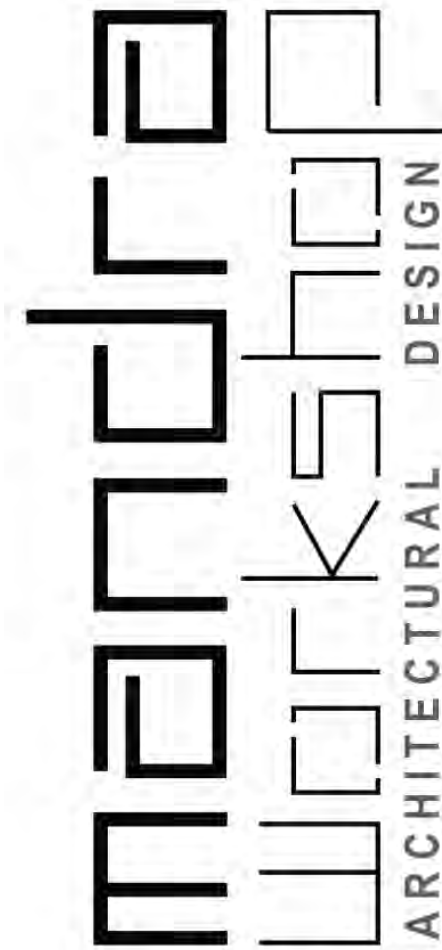
LIST OF ACCESSORY STRUCUTRES

SHED -	TO BE REMOVED=	+/- 160 SF
SHED -	TO BE REMOVED=	+/- 26 SF
POOL	TO REMAIN=	+/- 676 SF
HOT TUB	TO BE REMOVED=	+/- 54 SF
GARAGE	PROPOSED	1,502 SF

ACCESSORY GARAGE

PAUL BARILLA

299 BROADWAY
VERPLANCK, NY 10596



C: 046.739.4916
E: MANDRAWORKSHOP@GMAIL.COM
W: MANDRAWORKSHOP.COM
ADDRESS: 14 DELUCA LANE CARMEL NY, 10512

ZONING DETERMINATION

NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF MANDRA WORKSHOP PLLC, AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF MANDRA WORKSHOP PLLC.

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ALTERATIONS BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VII, SECT. 66.5 (b) OF NEW YORK STATE LAW.

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Professional Seal
Expiration: 10/31/2028

1 06-29-2026 ZBA REV 1
0 05-12-2026 ZONING DETERMINATION

Sheet Title

SITE PLAN & ZONING BULK TABLE

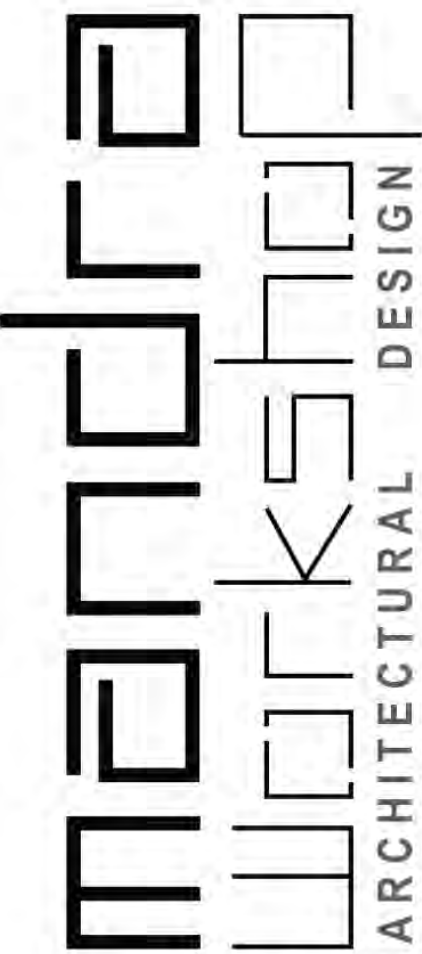
Sheet Number

A001

ACCESSORY GARAGE

PAUL BARILLA

299 BROADWAY
VERPLANCK, NY 10596



C: 646.739.4916
E: MANDRAWORKSHOP@GMAIL.COM
W: MANDRAWORKSHOP.COM
ADDRESS: 14 DELUCA LANE CARMEL NY, 10512

ZONING DETERMINATION

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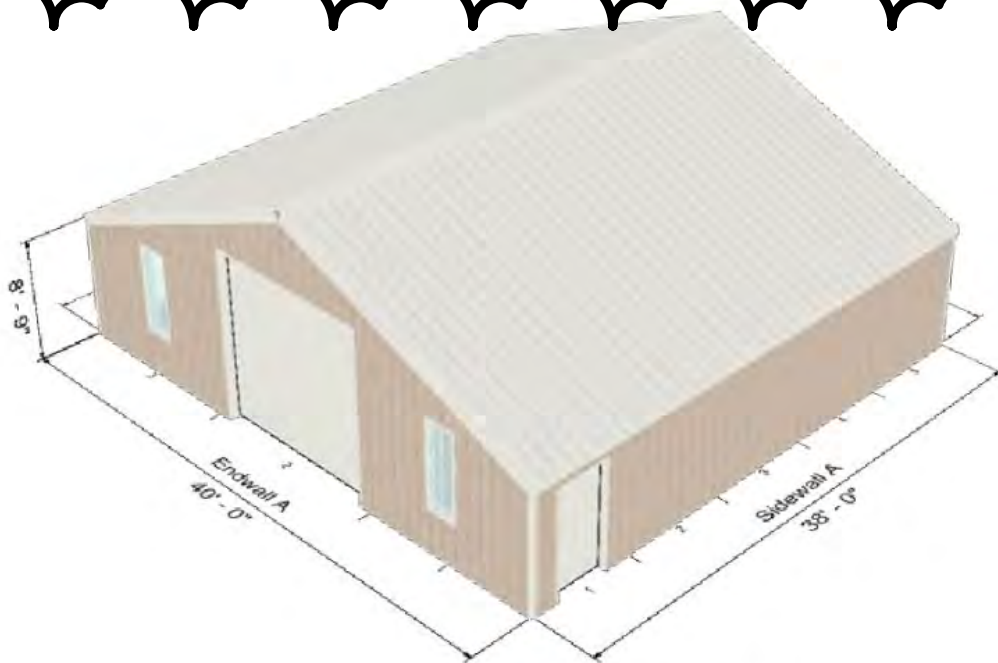
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0	05-12-2026	ZONING DETERMINATION
No.	Date	Issue

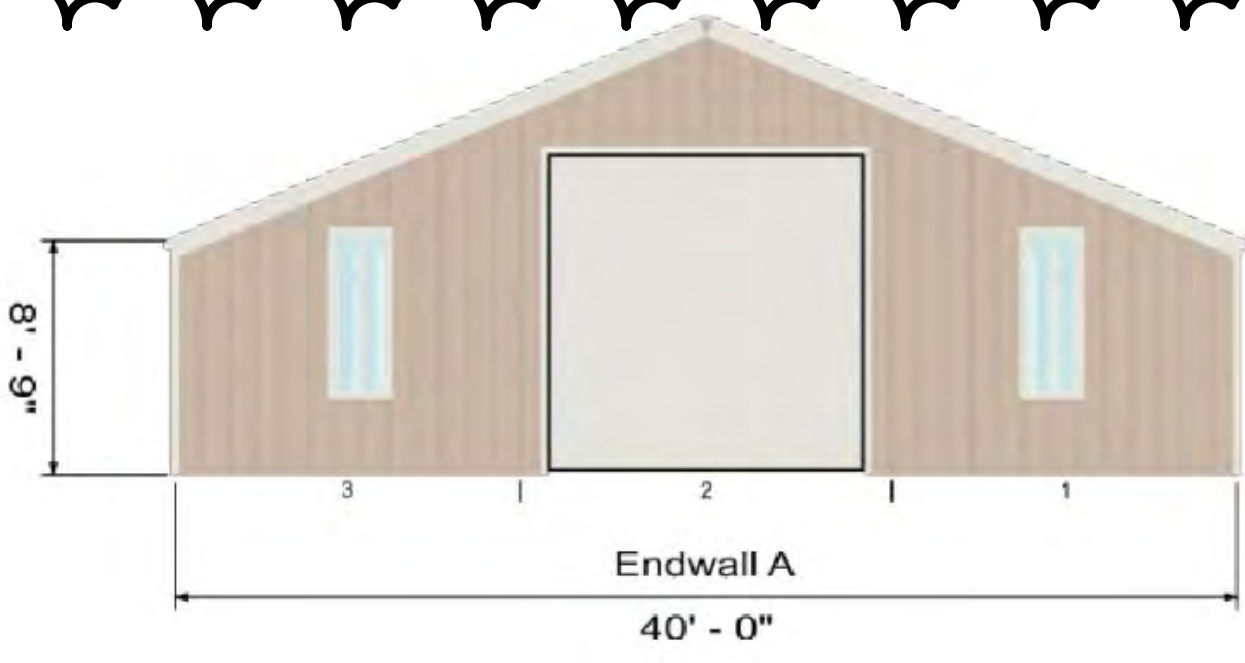
EXTERIOR
ELEVATIONS

Sheet Number

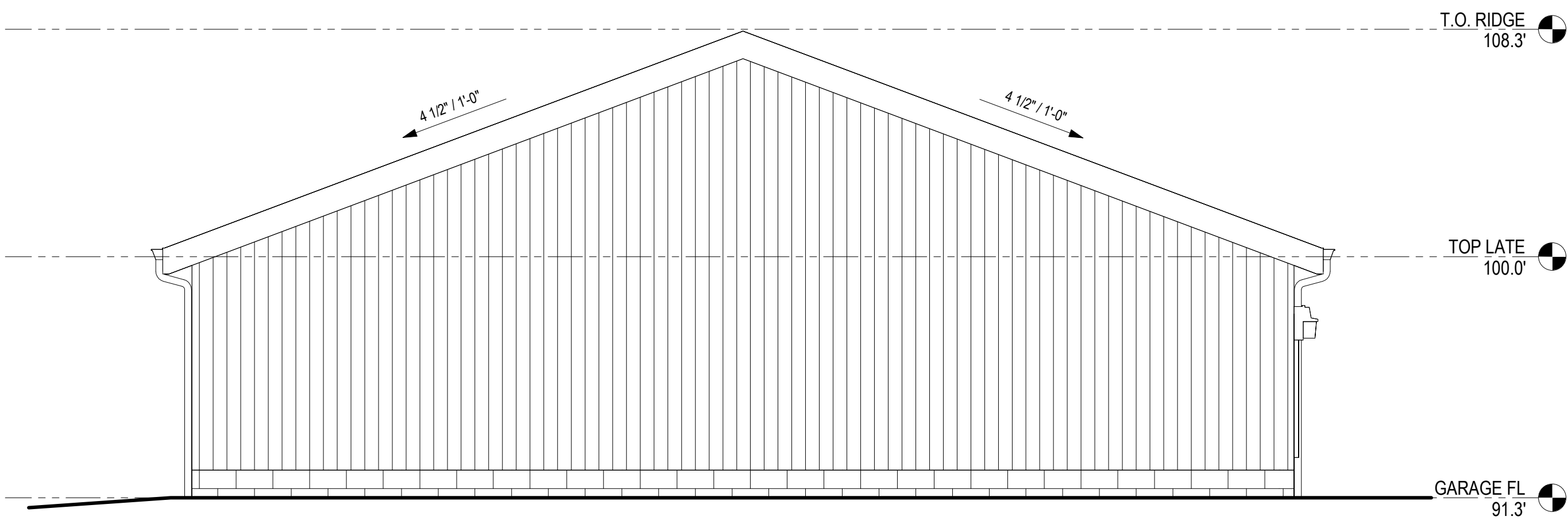
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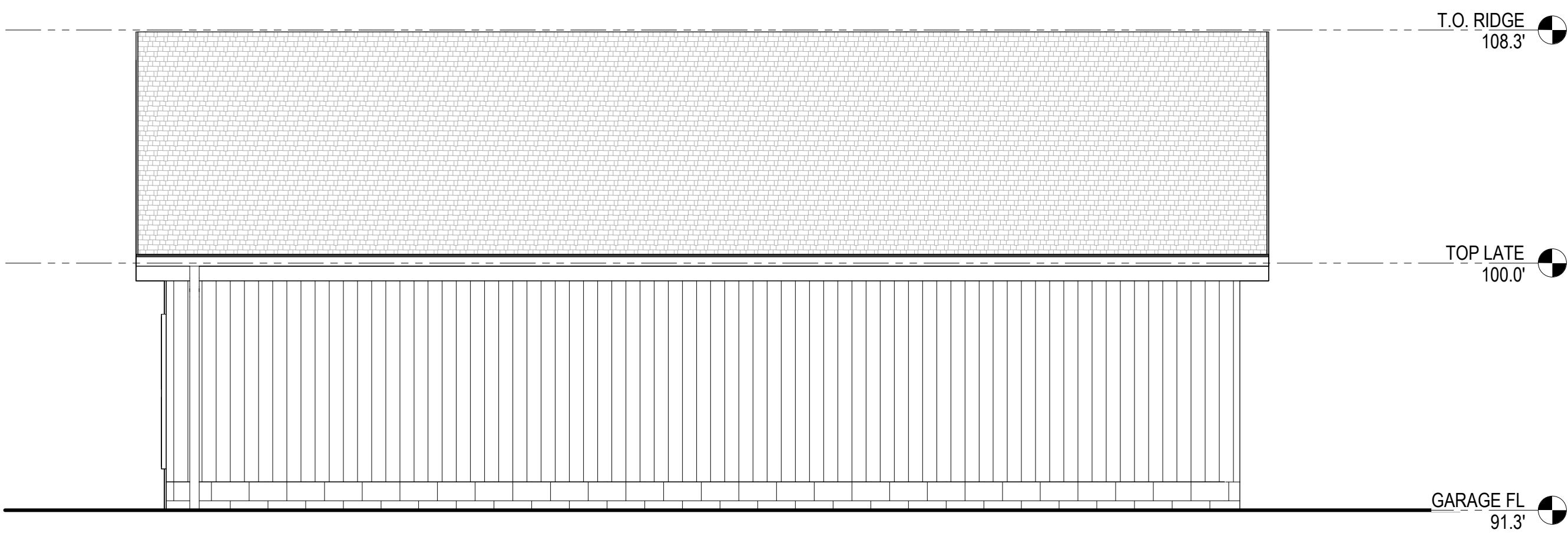
COLOR EXAMPLES FROM MANUFACTURE



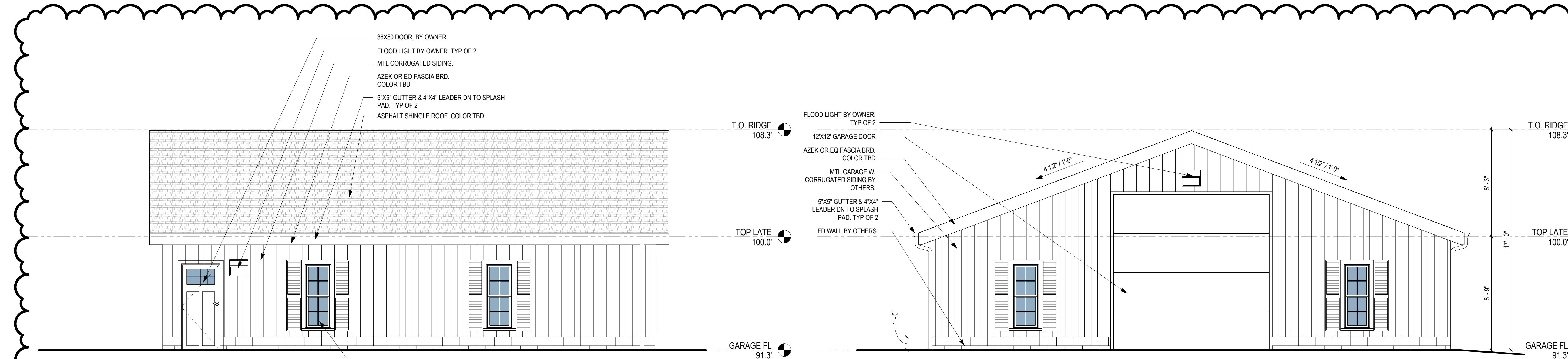
COLOR EXAMPLES FROM MANUFACTURE



W WEST ELEVATION
1/4" = 1'-0"



S SOUTH ELEVATION
1/4" = 1'-0"



N NORTH ELEVATION
1/4" = 1'-0"

E EAST ELEVATION
1/4" = 1'-0"

- 36X80 DOOR, BY OWNER.
- FLOOD LIGHT BY OWNER, TYP OF 2
- MTL CORRUGATED SIDING.
- AZEK OR EQ FASCIA BRD. COLOR TBD
- 5'X5' GUTTER & 4'X4" LEADER DN TO SPLASH PAD, TYP OF 2
- ASPHALT SHINGLE ROOF, COLOR TBD

- FLOOD LIGHT BY OWNER, TYP OF 2
- 12'X12' GARAGE DOOR
- AZEK OR EQ FASCIA BRD. COLOR TBD
- MTL GARAGE W. CORRUGATED SIDING BY OTHERS.
- 5'X5' GUTTER & 4'X4" LEADER DN TO SPLASH PAD, TYP OF 2
- FD WALL BY OTHERS.

- 2'-0" X 5'-0" DBL HUNG WINDOWS WITH SHUTTERS, TYP OF 4.

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: Beloff

ZBA Case #: 2026-6

Name of Applicant: Andy Cheung on behalf of 18 Travis Ave LLC
Owner: 18 Travis Ave LLC, Larry Cosenza
Address of property: 0 (17) Lancaster Drive
Section, Block, Lot: 54.8-3-27
Prior ZBA Case No.: N/A
Zone: R-15
Lot Size: 12,067 SF (pre-existing non-conforming lot size)

Variance(s) Requested: Area variances per §307-17 Attachments 3&4 - Table of Dimensional Regulations, and Table of Maximum Floor Area, in Residential Districts, as follows:

Side Yard Setback:

Minimum required = 5.33' | 8.33'
Proposed = 4.57'
Relief sought = 0.76' (14%)

Maximum Floor Area:

Maximum allowed = 3,125 SF
Proposed = 3,494 SF
Relief sought = 369 SF (12%)

Maximum Bldg Coverage:

Maximum allowed = 2,031 SF
Proposed = 2,172 SF
Relief sought = 141 SF (7%)

Minimum Lot Area:

Minimum required = 15,000 SF
Existing lot area = 12,067 SF
Relief sought = 2,933 SF (20%)

Staff Comments: The Code Enforcement office received a building permit application on May 26, 2026 for the construction of a new, prefabricated single-family home for the subject property. The lot is 50' wide, similar to many of the neighboring properties. Of note, the selected house design is a raised ranch style which, in order to fit on the lot, is proposed to be spun 90-degrees counterclockwise, resulting in the front façade of the home facing the backyard of the neighboring lot at 15 Lancaster Avenue, and the garage end of the house facing the street.

The lot is a pre-existing, dimensionally non-conforming vacant lot with regard to overall lot area. The overall size and footprint of the selected house design both exceed what is allowed on this site for floor area of the principal dwelling, and maximum building coverage. Regarding the side yard setback variance requested, the standard required side yard for this property is 8.33'; however, per §307-18.B-3 "Exceptions to yard requirements", the uncovered stairs/landing area designed to facilitate access to the front door are allowed to extend up to 3' into the side yard, therefore reducing the required side yard setback for the stairs to 5.33'.

SEQR: TYPE II – No further compliance required.

Aerial View, 0(17) Lancaster Avenue:



Street view of vacant lot at 0(17) Lancaster:



Street views of surrounding neighborhood:









TOWN OF CORTLANDT

DEPARTMENT OF TECHNICAL SERVICES

Michael Preziosi, P.E.
Director D.O.T.S.

John Schembari
Dir. Code Enforcement

Arthur D'Angelo, Jr., P.E.
Deputy Dir. D.O.T.S.

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Town Supervisor
Richard H. Becker, M.D.

Town Board
James F. Creighton
Cristin Jacoby
Robert E. Mayes
Joyce White

June 4, 2026

AC Engineering, PLLC
0 Lancaster Ave. Unit 17 Montrose NY 10548
Re:

A-26-106 – The Applicant is proposing to construct a New single-family dwelling 3 Bed/2 Bath with 2nd Story Bonus Room.

Tax ID 54.8-3-27

Dear Andy Cheung,

The Town of Cortlandt Department of Technical Services has reviewed the above referenced applications for conformance to the Town's Zoning Code and the review of the submitted drawings on May 26, 2026

At this time, the application has been denied under Town Code Ch. 307 – Zoning, Attachment 3, Table of Dimensional Regulations, Residential Districts requires lots located in the R-15 zoning district with lot widths less than 70 ft to have a side yard minimum setback of 15% of width to a minimum of 5-ft.

The Applicant is requesting relief as follows as shown on Drawing 1 "Site Plan and Zoning Analysis" prepared by AC Engineering PLLC.

- Variance 1 – Deminmus encroachment into side yard setback from masonry entrance steps. 8.33 ft required. 5.33 ft. s.y. allowed (with 3-ft encroachment). 4.57 ft. shown. This means a .76 ft or 9" variance is necessary. Zoning Code Reference: 307.18 B-3

Zoning Code reference: 307 Attachment 3

- Variance 2 – 369 square feet of additional floor area. (3494-3125)
- Zoning Code reference: 307 Attachment 4

- Variance 3 – 141 square feet of building coverage. (2172-2031)
- Zoning Code reference: 307 Attachment 4

Variance 4 – Minimum lot size required 15,000 Sq. Ft. Existing 12,067 Sq. Ft. Requiring 2,933 Sq. ft of relief.

The site is otherwise compliant relative to minimum landscape coverage.

With this denial, you may now apply Online for a Zoning Board of Appeals proceeding. Upload this denial letter, the above referenced plans, and all required information outlined on the ZBA Application. Please upload .pdfs of all documents, to scale with digital seal and signature of the design professional of record.

Upload the following:

1. Property survey
2. Drawing 1, Site plan and Zoning Analysis
3. Floor Plan

Sincerely,

John Schembari
Director of Code Enforcement

Cc: Chris Kehoe – Director & Planning
Michael Cunningham, – Deputy Town Attorney

AC ENGINEERING, PLLC

SOMERS, NY 10589



July 9, 2026

To: Chairman Michael Fleming and Board Members
Town of Cortlandt Zoning Board of Appeals
1 Heady Street
Cortlandt Manor, NY 10567

RE: 0 (17) Lancaster Ave. Section 54.8 Block 3 Lot 27

Dear Mr. Fleming and Board Members:

We are the Engineers contracted with the Owner Larry Cosenza for the construction of a single-family dwelling on an existing vacant lot located between 15 and 19 Lancaster Ave.

The proposed scope of work consists of a 1,701 square foot single-family dwelling with a ground floor garage/unfinished basement, a finished first floor and unfinished attic as manufactured by APEX Homes. A deck is proposed in the backyard where a proposed 3-bedroom septic system has been designed and approved by the Westchester County Department of Health.

Our understanding is an area variance will be necessary, specifically Zoning code Reference 307.18 B-3 and 307 Attachment 4.

- A side yard setback from masonry entrance steps with 8.33 feet required. 5.33 feet of side yard allowed (with 3-foot encroachment). Our steps measure 4.57 feet. Therefore a 9" variance is requested.
- The pre-manufactured home has 3,494 square feet of floor area. The allowable floor area is 3,125 square feet. Therefore a 369 square feet floor area variance is requested.
- The pre-manufactured home has 2,172 square feet of building coverage. The allowable building coverage is 2,031 square feet. Therefore 141 square feet building coverage variance is requested.
- The minimum lot size requires 15,000 square feet. The existing site is 12,067 square feet. Therefore a 2,933 square feet variance is requested.

Addressing the ZBA "five-factor test":

Area variances: In the review of a request for an area variance, a five-factor test will typically be used to determine the benefit to the applicant as weighs against the detriment to the health, safety and welfare of the neighborhood or community.

In doing so, the ZBA considers these factors:

- 1) *Whether an undesirable change will be produced in the character of the neighborhood, or a detriment to nearby properties will occur;*

The pre-manufactured home's aesthetics will be similar in nature to other homes in the neighborhood. These variances are minor in nature and will not result in a detriment to neighboring properties.

- 2) *Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.*

The pre-manufactured home size has already been pre-determined and unable to be changed. The lot is also narrow with a width of 50 feet. Therefore, there are no other feasible methods other than the variance requested.

- 3) *Whether the requested variance is substantial;*

We feel a side yard setback of 9", 369 square feet of floor area and 141 square feet of building coverage is minor due to the size of the lot.

- 4) *Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;*

The proposed variances are minor in nature and will not negatively impact the neighborhood or the environment.

- 5) *Whether the alleged difficulty was self-created;*

The difficulty was not self-created due to the size and orientation of the vacant lot. The house orientation makes good use of the existing space.

We hope this addresses your questions and concerns. Please feel free to contact us if you should have any questions or require additional clarification.

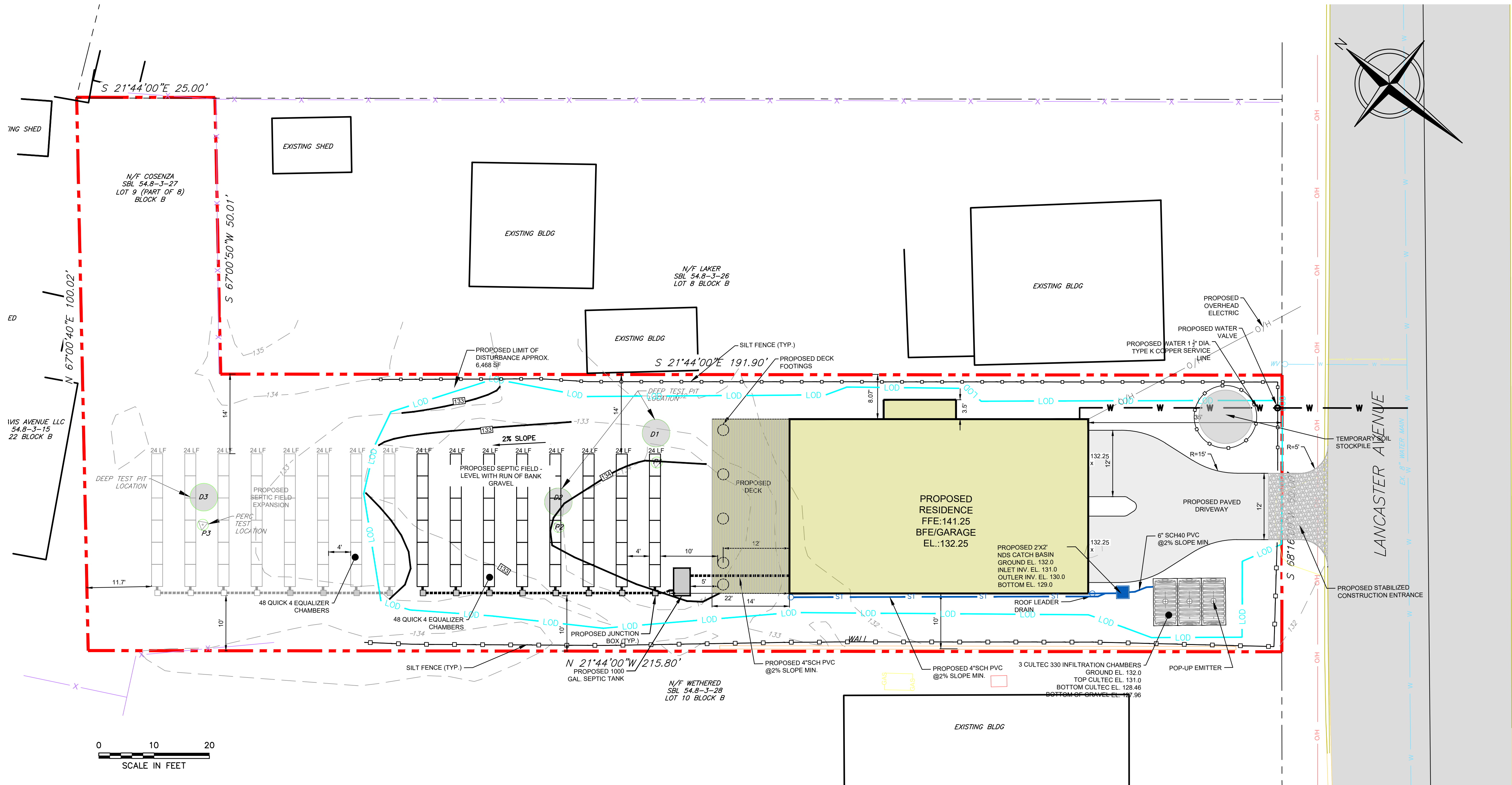
Mr. Michael Fleming and Board Members
July 9, 2026
Page 3

Respectfully submitted,

AC Engineering, PLLC.



Andy Cheung, P.E., CPESC
Principal Engineer



- LEGEND:
- EXISTING PROPERTY LINE
 - EXISTING INDEX CONTOUR
 - EXISTING INTERMEDIATE CONTOUR
 - EXISTING BUILDING
 - EXISTING EDGE OF PAVED ROAD
 - EXISTING EDGE OF GRAVEL ROAD
 - EXISTING VEGETATION LINE
 - EXISTING WATER COURSE
 - EXISTING UTILITY POLE
 - EXISTING FENCE LINE
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING SANITARY LINE
 - PROPOSED BUILDING
 - PROPOSED PAVED ROADWAY
 - PROPOSED CONCRETE SLAB
 - PROPOSED INDEX CONTOUR
 - PROPOSED INTERMEDIATE CONTOUR
 - PROPOSED SPOT ELEVATION

- GENERAL NOTES:
- SURVEY AND PROPERTY INFORMATION TAKEN FROM PROPERTY SURVEY PERFORMED BY ROWAN LAND SURVEYING DATED AUGUST 20, 2025.
 - AC ENGINEERING HAS NOT RESURVEYED FOR ACCURACY.
 - DURING CONSTRUCTION, SEDIMENT AND EROSION CONTROLS SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CORTLANDT MANOR STANDARDS FOR SEDIMENT AND EROSION CONTROL.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN CONFORMANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
 - ALL NEW AND EXISTING FINISHED GRADES SHALL SLOPE TO DRAIN AWAY FROM BUILDINGS.
 - ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING WALLS, FINISHED FACE OF WALLS AND EXPOSED FACE OF CURBING UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - ALL FILL AND BACKFILL AREAS TO BE COMPACTED IN 6" LIFTS AND COMPACTED TO 95% COMPACTION UNLESS OTHERWISE NOTED. NO FILL TO BE IMPORTED ON-SITE WITHOUT TESTING DOCUMENTATION SUBMITTED TO TOWN OF CORTLANDT MANOR.
 - CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO BEGINNING WORK. CONTACT PROPER UTILITY COMPANIES A MINIMUM OF 72 HOURS BEFORE DIGGING FOR FIELD VERIFICATION. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITY OR IRRIGATION LINES.
 - IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION, IT CANNOT BE PUMPED INTO THE TOWN'S STORMWATER SYSTEM.
 - SEE ARCHITECT DRAWINGS FOR ALL OTHER INFORMATION.
 - PRIOR TO THE BACKFILLING OF ANY STORM WATER BEST MANAGEMENT PRACTICE, DOTS-ENGINEERING SHALL BE NOTIFIED TO PERFORM AN INSPECTION. CONTACT ENGINEERING AT 914-734-1060 TO SCHEDULE AN INSPECTION.
 - PROVIDE A FOUNDATION SURVEY PRIOR TO FRAMING.
 - PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE ENGINEER/ARCHITECT SHALL SUBMIT A CERTIFICATION ADDRESSED TO "TOWN OF CORTLANDT DEPARTMENT OF TECHNICAL SERVICES" THAT THE SITE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS ON FILE WITH THE TOWN AND THAT THERE IS NO ADVERSE IMPACTS TO ADJACENT AND ADJOINING NEIGHBORS AS IT PERTAINS TO DRAINAGE RUNOFF.
 - THE APPLICANT IS INFORMED THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. DISTURBED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY AND IN A TIMELY MANNER.
 - PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN "AS-BUILT" SURVEY PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR OF THE PROPERTY SHALL BE SUBMITTED TO THE DEPARTMENT OF TECHNICAL SERVICES.
 - EXCESS CUT SHALL BE LAWFULLY DISPOSED OFF-SITE. NO FILL IS PROPOSED TO BE IMPORTED BUT IF FILL IS REQUIRED, IT MUST BE TESTED IN ACCORDANCE WITH THE TOWN'S SOIL TESTING POLICY. A COPY OF THE TESTING RESULTS SHALL BE FORWARDED TO THE TOWN.
 - SEPTIC SYSTEM APPROVED BY WESTCHESTER COUNTY DEPARTMENT OF HEALTH NOVEMBER 13, 2025.
 - DEEP TEST PITS AT THE LOCATION OF THE STORMWATER INFILTRATION SYSTEM SHALL BE CONDUCTED PRIOR TO THE START OF CONSTRUCTION. CONTACT THE DEPARTMENT OF TECHNICAL SERVICES AT 914-734-1060 TO WITNESS THE TESTING.
 - THE PROPOSED DWELLING AND UNDERGROUND DRAINAGE STRUCTURES ARE IN COMPLIANCE WITH WESTCHESTER COUNTY RULES AND REGULATIONS FOR SEPARATION DISTANCE TO WASTEWATER SOURCES.

ZONING COMPLIANCE - R-15

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	15,000 SF	12,067 SF	N/A
MINIMUM LOT WIDTH	80 FT	50 FT	N/A
MAXIMUM HEIGHT	2 1/2 STORIES OR 35 FT.	0	2 STORIES
FRONT YARD	35 FT	N/A	35 FT.
SIDE YARD	15% OF WIDTH TO A MIN. OF 5 FT.	N/A	4.57 FT.
REAR YARD	25 FT	N/A	127.7 FT
MAXIMUM BUILDING COVERAGE (% OF LOT AREA)	NOT TO EXCEED 65% OF FLOOR AREA RATIO	N/A	3,494 SF/12,067 SF = 28.9% MAX FA = 3,125 SF 65% OF MAX FA = 2,031 SF % = 2,031 / 12,067 = 16.8%
MINIMUM LANDSCAPE COVERAGE (% OF LOT AREA)	50%	N/A	76% HOUSE AREA = 1,747 SF DECK AREA = 425 SF DRIVEWAY AREA = 757 SF TOTAL = 2,929 SF OR 24% OF LOT AREA

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ANDY CHEUNG, P.E.

N.Y.P.E. LIC. NO. 084461

DATE

REV	DATE	DESCRIPTION

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DESIGNED BY: AC

CHECKED BY: AC

APPROVED BY: AC

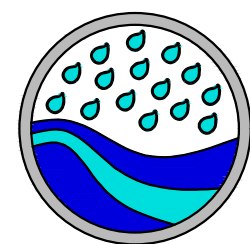
MAY 2026

DATE CREATED

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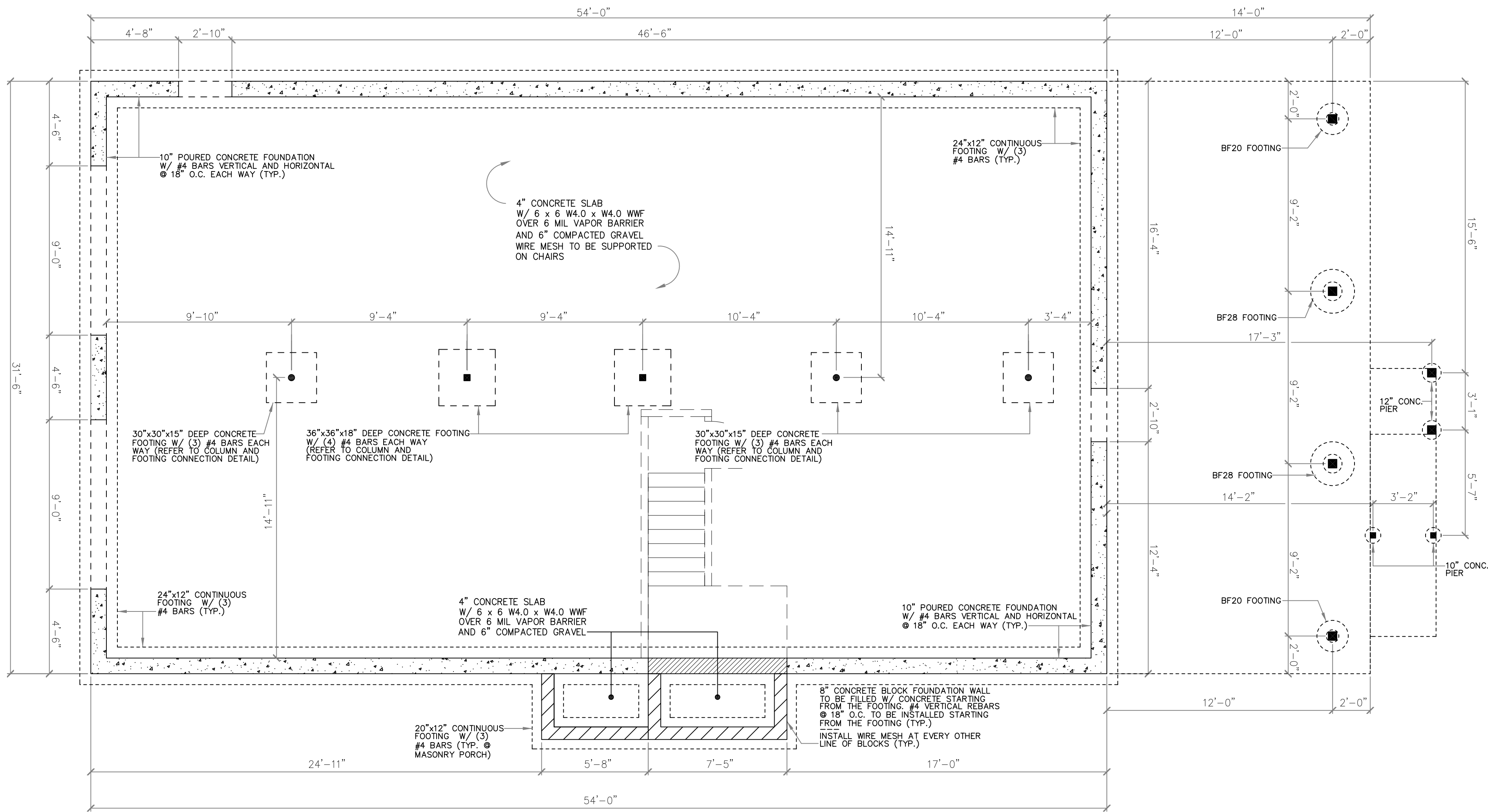


18 TRAVIS AVE. LLC
17 LANCASTER AVE.
MONTROSE, NY
WESTCHESTER COUNTY, NY
SECTION 54.8 BLOCK 3 LOT 27
PROPOSED SITE CONDITIONS PLAN

DRAWING NO.

1

PROJECT NO.
MT-17LAN-NH



PROPOSED FOUNDATION PLAN

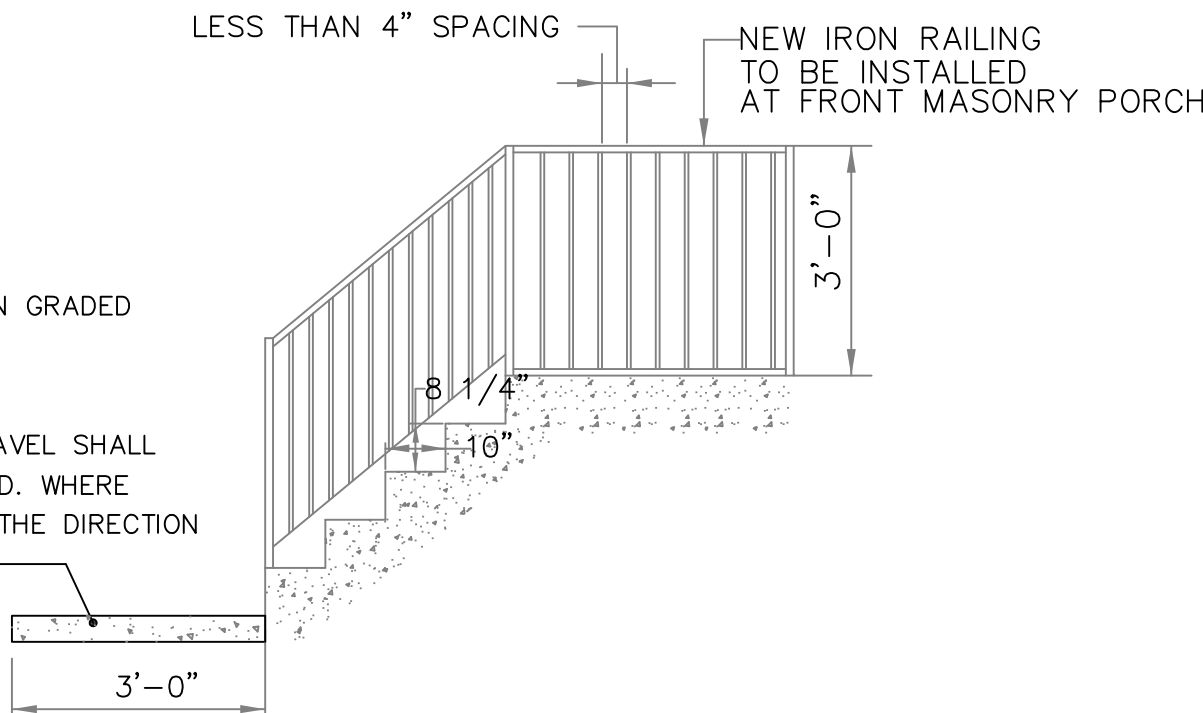
SCALE 1/4" = 1'-0"

R506.3.2 BASE PLATFORM

A 4-INCH-THICK BASE COURSE CONSISTING OF CLEAN GRADED SAND, GRAVEL, CRUSHED STONE, CRUSHED CONCRETE

R318.7.6 LANDINGS FOR STAIRWAYS

THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL NOT BE LESS THAN THE WIDTH OF THE FLIGHT SERVED. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL NOT BE LESS THAN 36 INCHES



MASONRY RAILING/STEP DETAIL
NOT TO SCALE

SPECIAL NOTE

ALL STRUCTURAL ELEMENTS AND STRUCTURAL WORK SPECIFICALLY SHOWN AND DETAILED ON THESE ENGINEERING PLANS HAVE BEEN DESIGNED BY SDN DESIGN. ALL OTHER FRAMING, CONNECTIONS, AND CONSTRUCTION NOT EXPLICITLY INDICATED ON THESE PLANS IS DESIGNED BY APEX HOMES OF PA. REFER TO APEX HOMES OF PA DRAWINGS AND SPECIFICATIONS FOR ALL FRAMING ELEMENTS NOT SHOWN HEREIN

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA
TABLE R301.2 (1)

GROUND SNOW LOAD	WIND DESIGN				SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	WEATHERING	FROST LINE DEPTH	TERMITE					
30 lbs	115	NO	YES	NO	SEVERE	42"	MODERATE TO HEAVY	15	YES	NO	1500	53.2

SPECIAL NOTES

- ENGINEER NOT RESPONSIBLE FOR OMITIONS CHANGES OR ADD UNLESS VER. BY SAME
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS OF 2025 NYS RESIDENTIAL BUILDING CODE
- ALL DESIGN ELEMENTS MEET OR EXCEEDS 2025 NYS RESIDENTIAL CODES.

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DAVID GUERRERO, P.E.



N.Y.P.E. LIC. NO. 111040 DATE

ANDY CHEUNG, P.E.

N.Y.P.E. LIC. NO. 084461 DATE

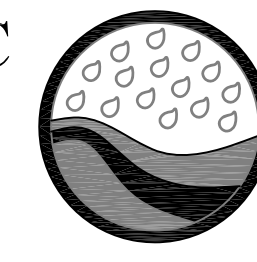
REV	DATE	DESCRIPTION

DRAWN BY:	SDN DESIGN
DESIGNED BY:	SDN DESIGN
CHECKED BY:	AC
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JANUARY 8 2026	
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PROPOSED FOUNDATION/DECK/BASEMENT WINDOWS
AND GARAGE DOORS FOR NEW HOME CONSTRUCTION

DRAWING NO.

A-1

PROJECT NO.
CRTLND-17LAN-NFOUN

EXCAVATION AND FOUNDATION NOTES

- BUILDER SHALL BE RESPONSIBLE FOR SUPPORT OF ALL TEMPORARY EMBANKMENT AND EXCAVATIONS.
- FOOTINGS SHALL BE FOUNDED ON FIRM, UNDISTURBED NATIVE SOIL. IF EXPANSIVE CLAYS, ORGANIC SOILS, OR UNCONTROLLED FILL ARE ENCOUNTERED, NOTIFY THE ENGINEER AND OWNER. MINIMUM BEARING CAPACITY SHALL BE 2000 PSF. THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF FOUNDATION.
- FOOTINGS AND SLAB ON GRADE SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND. SUB GRADE FOR SLABS ON GRADE SHALL BE FREE OF FOREIGN DEBRIS AND/OR ORGANIC MATERIAL.
- DESIGN, FABRICATION, INSTALLATION AND REMOVAL OF FORM WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR
- BACK FILL SHALL CONSIST OF FREE-DRAINING, NON-EXPANSIVE, GRANULAR MATERIAL FREE OF FOREIGN DEBRIS AND ORGANIC MATERIALS. BACK FILL AND SUB GRADE UNDER SLAB OF FOREIGN DEBRIS AND ORGANIC MATERIALS. BACK FILL AND SUB GRADE UNDER SLAB SHALL BE COMPACTED TO P-95% OF ASTM D1557. GRADE THE AREA AROUND THE HOUSE TO DIVERT WATER AWAY FROM THE HOUSE.
- FOOTINGS MAY BEAR ON BEDROCK. IF BEDROCK IS ENCOUNTERED, EXCAVATE ROCK TO BE LEVEL IF ENCOUNTERED WITHIN 4 FT. OF GRADE, LEVEL ROCK AND PIN FOOTINGS TO ROCK AT 4 FT. O.C. WITH #4 BARS GROUTED INTO ROCK. ROCK IS ANTICIPATED. A SEPARATE CUBIC YARD REMOVAL PRICE IS TO BE PROVIDED, IN THE UNLIKELY EVENT ROCK IS ENCOUNTERED.
- EXCAVATION FOR FOOTINGS TO BE GENERALLY TO DEPTH SHOWN OR TO VIRGIN SOIL, BUT IN NO CASE LESS THE 42" BELOW FINISHED GRADE UNLESS FOOTINGS ARE SET ON LEDGER ROCK.
- BACK FILL AGAINST FOUNDATION WALLS WITH CLEAN FILL, GRADE TO SLOPE AWAY FROM BUILDING.
- WHEN BACK FILLING AGAINST BASEMENT FOUNDATION WALLS NO HEAVY MACHINERY TO COME WITHIN 8" FROM FOUNDATION

CONCRETE

- ALL CONCRETE SHALL HAVE A 4" MAXIMUM SLUMP AND DEVELOP THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: CONCRETE FOR SLABS: 4000 PSI (AIR ENTRAINED) CONCRETE FOR FOOTINGS: 2500 PSI POURED CONCRETE: HOLLOW LOAD BEARING UNITS CONFORMING TO ASTM C90, GRN-I OR N-II; SOLID UNITS TO ASTM C145, GRS-I OR S-II, NORMAL WEIGHT. MORTAR: ASTM C270, TYPE S
- POUR CONCRETE FOR FOOTINGS CONTINUOUSLY AND TO FOOTINGS STIFFLY, SIZE AS AND SHOWN ON DRAWINGS. FOOTINGS TO BE REINFORCED WITH (3) #4 RE-BARS AND POURED AT 42" BELOW GRADE AT ALL POINTS EXCEPT WHERE IT BEARS ON ROCK LEDGE #6 RE-BARS TO BE USED TO PIN REINFORCEMENT MAY BE ELIMINATED.
- CONCRETE FOR FOOTINGS AND SLABS TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH TEST OF EA. CLASS OF CONCRETE PHASE EA. DAY, SHALL BE TAKEN NOT LESS THAN ONCE A DAY, NOR LESS THAN ONCE FOR EA. 150 CUBIC YARDS (115 M3), NOR LESS THAN ONCE FOR EA. 5,000 SF (465 M2) OF SURFACE AREA FOR SLABS OR WALLS.
- FOUNDATION WALLS TO BE 10" POURED CONCRETE
- INSTALL 4" DIAMETER PVC FOOTING DRAINS WITH MINIMUM 12" GRAVEL
- CONCRETE SLABS TO BE TROWEL FINISHED AND REINFORCED WITH 6X6. #10/10 WELDED WIRE MESH POURED OVER 6 MIL VAPOR BARRIER AND 4" GRAVEL. WIRE MESH TO BE SUPPORTED ON CHAIRS.
- JOINTS AT PATTERN COMPATIBLE WITH INTERIOR COLUMN LAYOUT. PATTERNS SHALL NOT EXCEED 20 FT SQUARE.
- MASON CONTRACTOR SHALL INSTALL ALL UTILITY SLEEVES, AS REQUIRED.
- INSTALL ANCHOR BOLTS WITHIN 12" OF CORNERS IN BOTH DIRECTIONS, AND THEN EVERY 60" O.C. TOP OF BOLTS TO BE 3 3/4" ABOVE THE TOP OF WALL AND 3" FROM OUTSIDE EDGE OF WALL.

HEIGHT ABOVE FINISHED GRADE

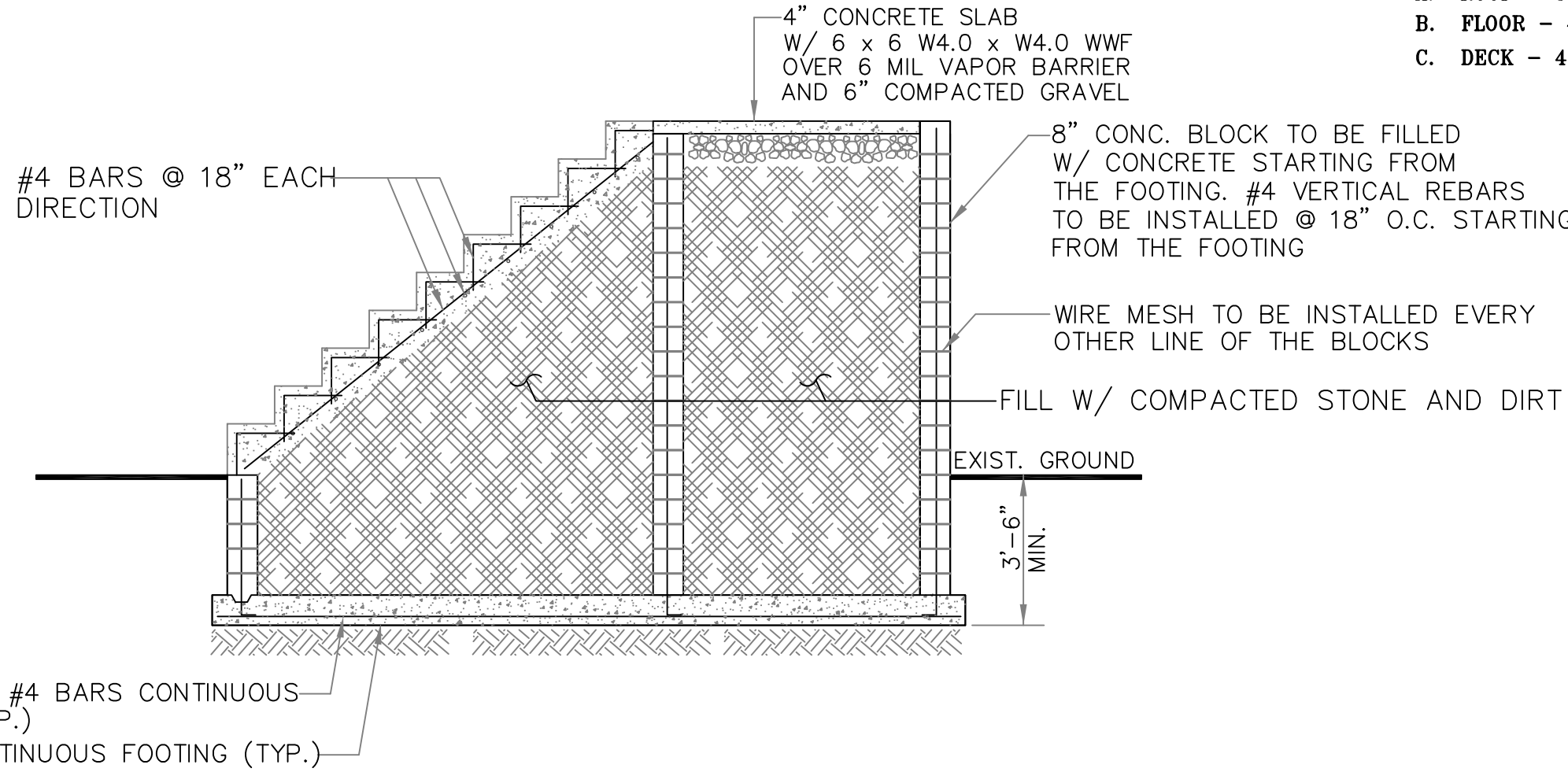
CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MINIMUM OF 4 INCHES WHERE MASONRY VENEER IS USED AND A MINIMUM OF 6 INCHES ELSEWHERE

DESIGN DATA

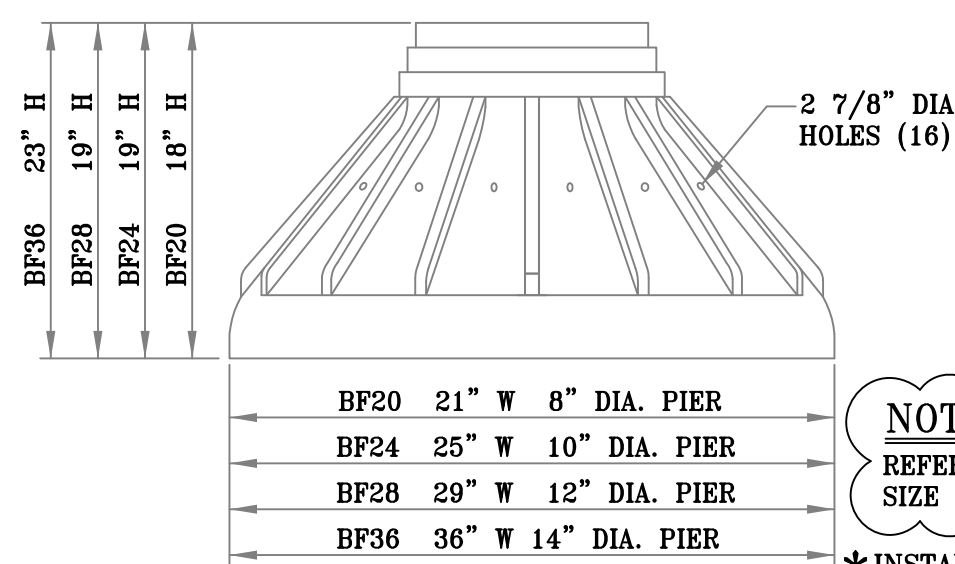
- ROOF - 30 #/ SF SNOW LOAD, 15 #/ SF DEAD LOAD
- FLOOR - 40#/SF LIVE LOAD, 15 #/ SF DEAD LOAD
- DECK - 40#/SF LIVE LOAD, 10 #/ SF DEAD LOAD

SPECIAL NOTE

THE FOUNDATION/FOOTING DESIGN SHOWN ON THESE PLANS IS BASED ON THE BUILDING ORIENTATION AS DEPICTED HEREIN. ANY CHANGE TO THE ORIENTATION OF THE STRUCTURE RELATIVE TO THE SITE MAY AFFECT THE FOUNDATION/FOOTING DESIGN ASSUMPTIONS. CONSULT WITH ENGINEER IF ORIENTATION CHANGES



MASONRY STAIRS REINFORCEMENT DETAIL
NOT TO SCALE

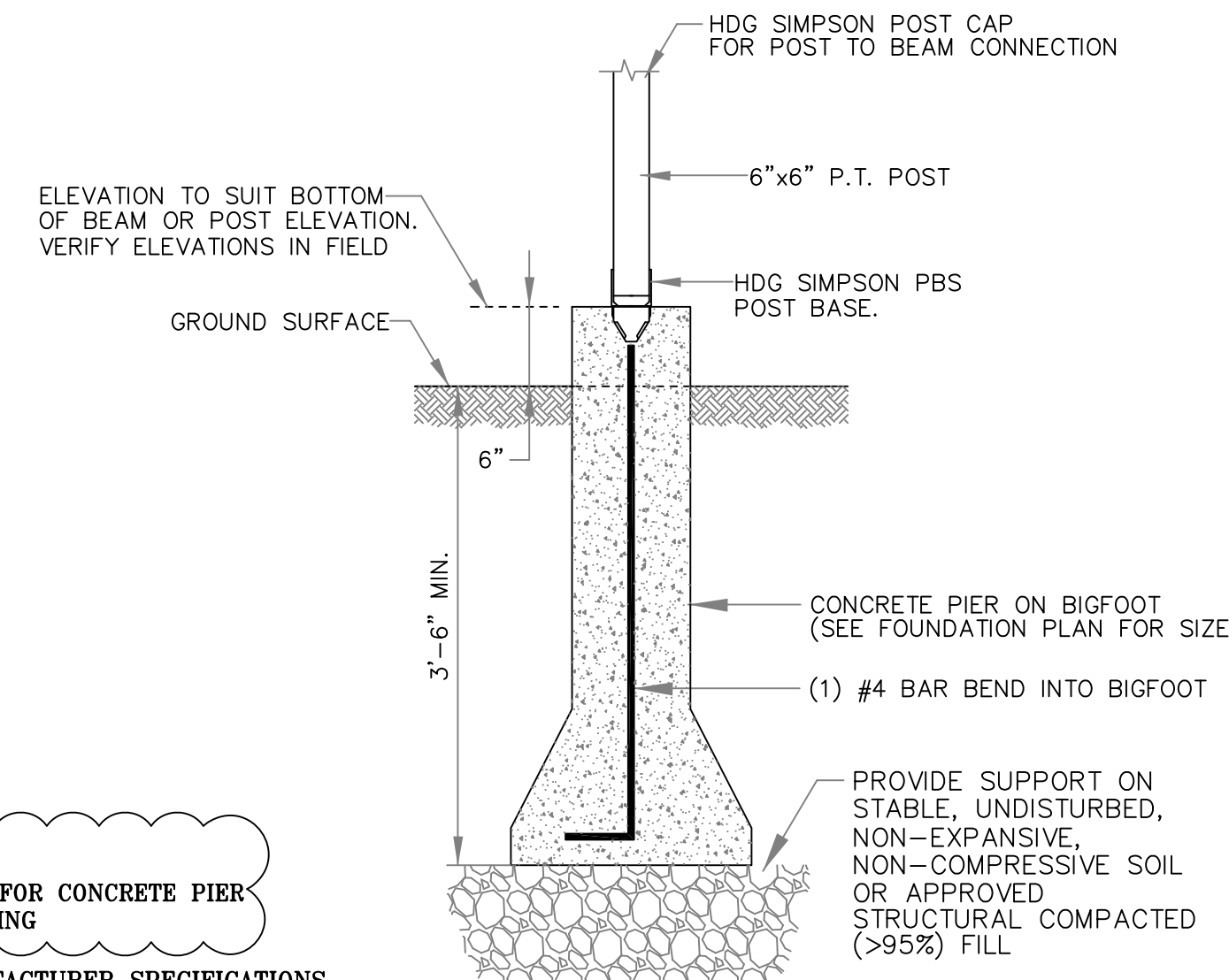


BIGFOOT SYSTEMS FOOTING FORM
NOT TO SCALE

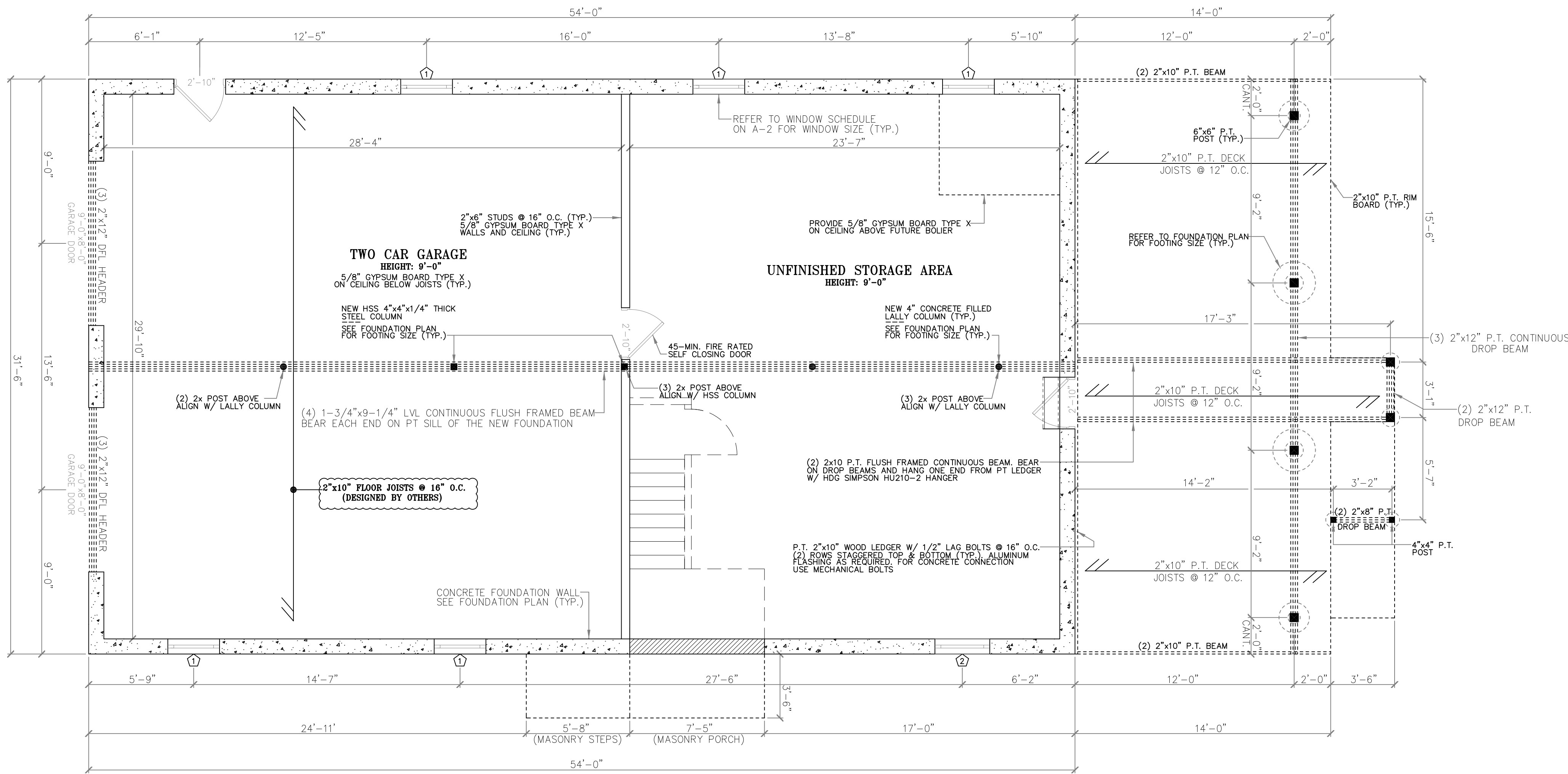
NOTES:

REFER TO DIAGRAM FOR CONCRETE PIER SIZE ON EACH FOOTING

*INSTALL PER MANUFACTURER SPECIFICATIONS

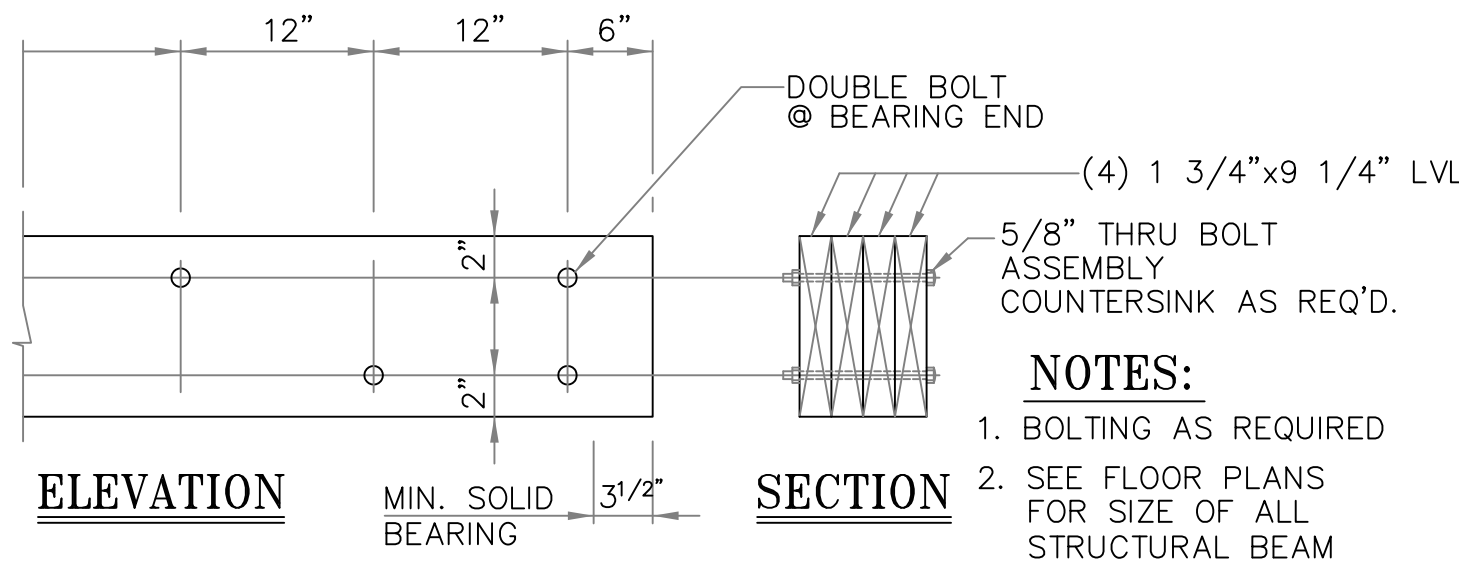


BIGFOOT DETAIL (DECK)
NOT TO SCALE



PROPOSED DECK FRAMING/1ST FLOOR FRAMING PLAN (BASEMENT CEILING)

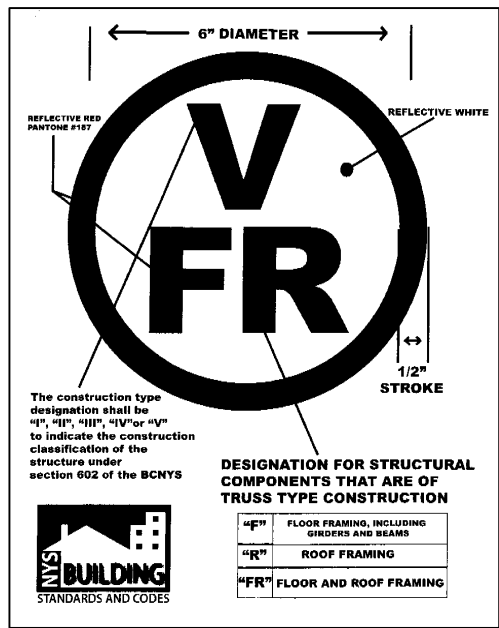
SCALE 1/4" = 1'-0"



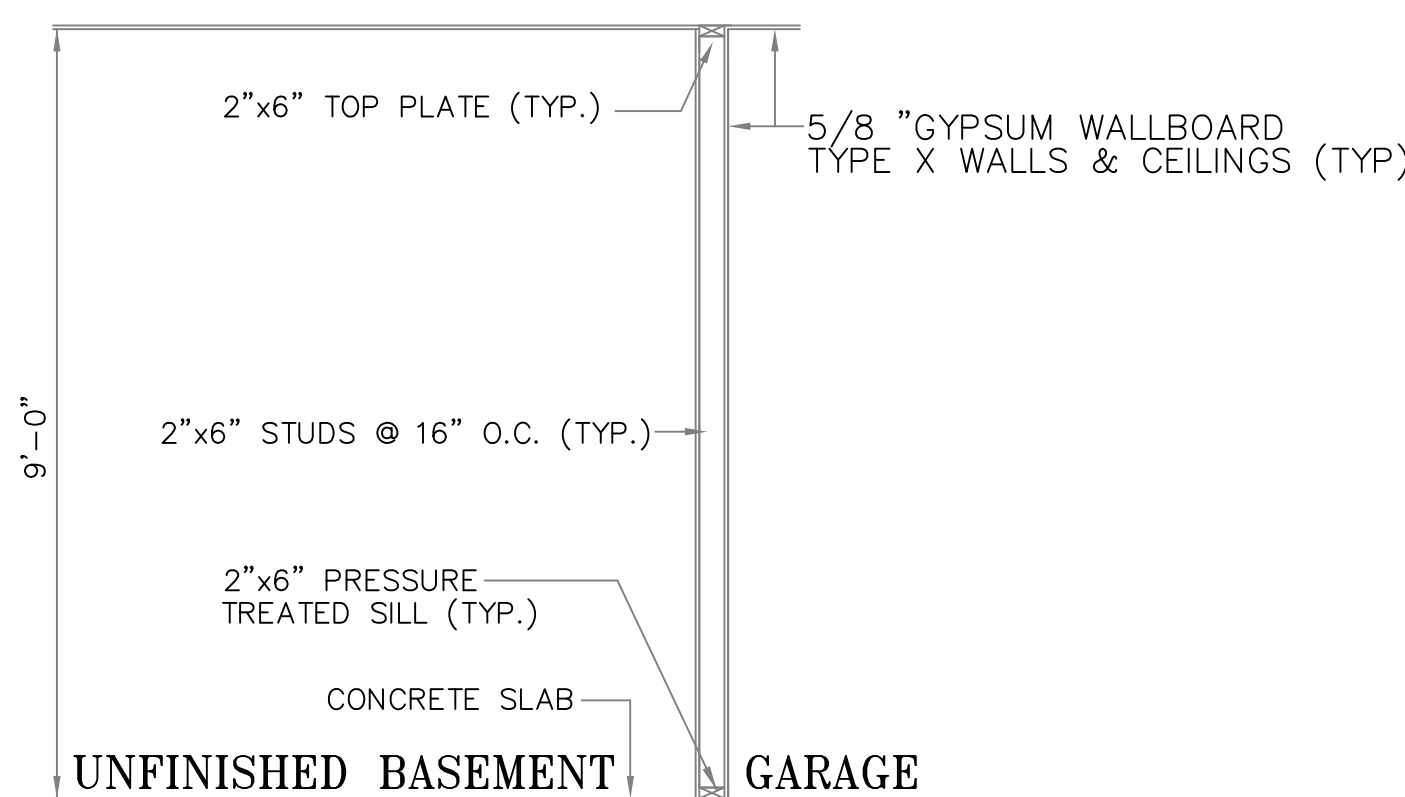
(4) 9-1/4" LVL SUPPORT BEAM CONNECTION DETAIL
NOT TO SCALE

SECTION 382-B OF THE EXECUTIVE LAW

PROVIDES THAT AS A CONDITION OF THE FINAL RECEIPT OF A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLETION, A SIGN OR SYMBOL DESIGNED AND APPROVED BY THE CODE COUNCIL SHALL BE AFFIXED TO ANY ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE STRUCTURE, IF SUCH AN ELECTRIC BOX EXISTS.



FIRST FLOOR



TYPICAL INTERIOR WALL SECTION
NOT TO SCALE

WINDOW SCHEDULE (ANDERSEN SERIES)

ID	MANUFACTURER	QTY.	R.O. SIZE	GRILL	U-VALUE	SHGC	AREA PER UNIT	NOTE/ REMARKS
1	WDH28310	5	2'-10 1/8"x4'-0 7/8"	YES	.27	.34	11.28	DOUBLE HUNG
2	WDH210410	1	3'-0 1/8"x5'-0 7/8"	YES	.27	.34	15.30	DOUBLE HUNG

*G.C. MUST VERIFY ALL MEASUREMENTS IN THE FIELD AND ALL ROUGH OPENING SIZES PRIOR TO ORDERING/INSTALLING WINDOWS

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF 2025 NYS RESIDENTIAL BUILDING CODE

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND LICENSES, REQUIRED TO COMPLETE ALL WORK AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING THE BUILDING PERMIT ON THE SITE AND PROVIDING A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR OR SUB-CONTRACTOR TO VISIT SITE TO CONFIRM ALL SIZES AND EXAMINE ALL EXISTING CONDITIONS, AND MEASUREMENTS PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES MUST BE REPORTED.
- CONTRACTOR AND/OR SUBCONTRACTORS ARE TO PERFORM ALL WORK AS SHOWN IMPLIED OR THAT IS REQUIRED TO PROVIDE A COMPLETE AND FINISHED KEY IN LOCK JOB EVEN IF EACH AND EVERY SPECIFIC ITEM IS NOT SPECIFICALLY
- ANYTHING NOT SPECIFICALLY SHOWN ON THE DRAWINGS, BUT WHICH IS REASONABLY IMPLIED, SHALL BE FURNISHED AS THOUGH SET FORTH IN THE PLANS.
- ALL WRITTEN NOTES AND DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY DRAWN FIGURES. DO NOT SCALE PRINTS. ANY QUESTIONS OR DISCREPANCIES REGARDING THE DRAWINGS OR DIMENSIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER FOR INTERPRETATION BEFORE PROCEEDING.
- ALL WORK AND MATERIALS MUST CONFORM TO THE LOCAL BUILDING CODES, PLUMBING CODE, AND NATIONAL BOARD OF FIRE UNDERWRITERS CODE AND REQUIREMENTS OF THE BOARD OF HEALTH WITH ENERGY CONSERVATION CODE.
- SITE WORK INCLUDES ALL NECESSARY DEMOLITION, SITE CLEARING, EXCAVATION, FILLING GRADING AND RELATED ITEMS TO COMPLETE THE WORK INDICATED ON THE DRAWINGS. EXCAVATE FOR ALL UTILITIES AS REQUIRED.

CONSTRUCTION NOTES

NOTE: CONTRACTOR TO VERIFY SIZE, SPACING, CONDITION AND FRAMING DIRECTION OF ALL EXISTING WOOD JOISTS PRIOR TO START OF CONSTRUCTION AND NOTIFY ENGINEER IF DIFFERENT THAN SHOWN.

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- ENGINEER NOT RESPONSIBLE FOR OMISSIONS CHANGES OR ADD UNLESS VER. BY SAME
- ALL FOOTINGS TO BEAR ON VIRGIN UNDISTURBED SOIL (MIN. BEARING CAP 2000 PSF.)
- STRUCTURAL LUMBER TO HAVE MIN. STRESS 900 PSI # 2 DOUG. FIR.
- CONC. TO BE MIN. STRESS 3000 PSI.

WHERE JOISTS MEET A FLUSH GIRDER OF LEDGER, TECO JOIST HANGERS MUST BE USED. ALL DECK LEDGERS TO BE BOLTED TO WALL WITH 1/2" GALVANIZED STEEL BOLTS AT 16" O.C. THE DECK SHOULD BE CONSTRUCTED WITH ALL LUMBER TO BE PRESSURE TREATED SOUTHERN YELLOW PINE.

LUMBER AND FRAMING

- ALL FRAMING TO BE IN ACCORDANCE TO THE 2020 RESIDENTIAL CODE OF THE STATE OF NEW YORK
- ALL FRAMING LUMBER TO BE A MIXTURE OF CONSTRUCTION GRADES #1 AND #2 DOUGLAS FIR HAVING MODULUS OF ELASTICITY OF 1,700,000 AND NORMAL DURATION DESIGN VALUE OF (F=1450) WITH MAXIMUM MOISTURE TREATED LUMBER CONTENT 19 % ALL PRESSURE TO BE SOUTHERN YELLOW PINE WHICH TO BE USED FOR PLATES AND ALL DECK STRUCTURAL ELEMENTS. ANCHOR ALL SILL PLATES WITH 1/2" X 15" STEEL ANCHOR BOLTS AT 5' O.C. USING MINIMUM TWO BOLTS PER PLATE. WHERE LPI JOIST ARE USE TO BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS
- AT ALL BEARING POINTS PROVIDE STUDDING 4" WIDER THAN THICKNESS OF HEADER OR GIRDER
- ALL STUDS IN BEARING WALLS ARE TO BE TOE NAILED ON TOP AND BOTTOM WITH MINIMUM SIX 12D COMMON NAILS
- ALL EXTERIOR AND INTERIOR WINDOW AND DOOR OPENINGS ARE TO BE 6'-8" ABOVE FINISHED FLOOR
- WHERE JOISTS MEET A FLUSH GRID OF LEDGER, TECO JOIST HANGERS MUST BE USED. ALL DECK LEDGERS TO BE BOLTED TO WALL WITH 1/2" STEEL 16" O.C
- LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURED TREATED.
- PROVIDE METAL JOIST HANGERS FOR ALL JOISTS BEARING ON THE FACE OF A FLUSH HEADER OR BEAM.

ENGINEERED LUMBER

BEAM: 2.1E LVL = LAMINATED VENEER LUMBER. ALL LVL'S TO BE 1-3/4" THICK.
VERSA-LAM LVL 2.1E 3100 SP OR EQUIVALENT

STRUCTURAL STEEL

MATERIAL
WIDE FLANGE SHAPES: ASTM A-992 (Fy 50 KSI)
OTHER ROLLED SHAPES & PLATES: ASTM A-36 (Fy 36 KSI)
STRUCTURAL TUBING, HSS SHAPES: ASTM A-500, GRADE B (Fy 46 KSI)
STRUCTURAL TUBING, HSS SHAPES: ASTM A-500, GRADE B (Fy 46 KSI)

ROOM FINISH

- GARAGE AND BOILER ROOM 5/8" SHEETROCK BRAND FIRECODE GYPSUM PANELS TYPE X FOR WALLS AND CEILING.
- DRYWALL (USE PRODUCTS ONLY): ALL GYPSUM BOARD MUST BE SECURED TO WOOD MEMBERS WITH TWO-INCH LONG SCREWS. ALL JOINTS AND NAIL HOLES TO RECEIVE THREE COATS OF TAPE AND SPACKLE SANDED SMOOTH IN PREPARATION FOR PAINT. ADEQUATE DRYING MUST OCCUR BETWEEN COATS. ALL OUTSIDE CORNERS TO RECEIVE METAL CORNER BEADS.

WINDOWS

ALL WINDOWS SHALL BE AS MANUFACTURED BY "ANDERSEN" OR APPROVED EQUAL AND IN COMPLIANCE WITH NYS RESIDENTIAL ENERGY CODE AND IN CONFORMITY WITH THE EGRESS SECTION OF THE CODE AND IN CONFORMITY WITH THE EGRESS SECTION OF THE CODE. EMERGENCY ESCAPE OPENING TO BE 5.7 SF AND GRADE FLOOR OPENING TO BE 5 SF. THE MIN. GLAZING AREA FOR ILLUMINATION PURPOSES SHALL BE 8% OF THE FLOOR AREA AND 4% THE MIN. VENTILATION.

TERMITE PROTECTION

NOTE:

- WHERE REQUIRED UTILIZE CONTINUOUS METAL SHIELD AND PRESSURE TREATED SILL PLATES.

SPECIAL NOTE

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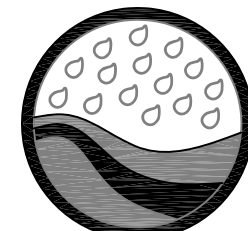
JANUARY 8 2026

DATE CREATED

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SOMERS, NY 10589

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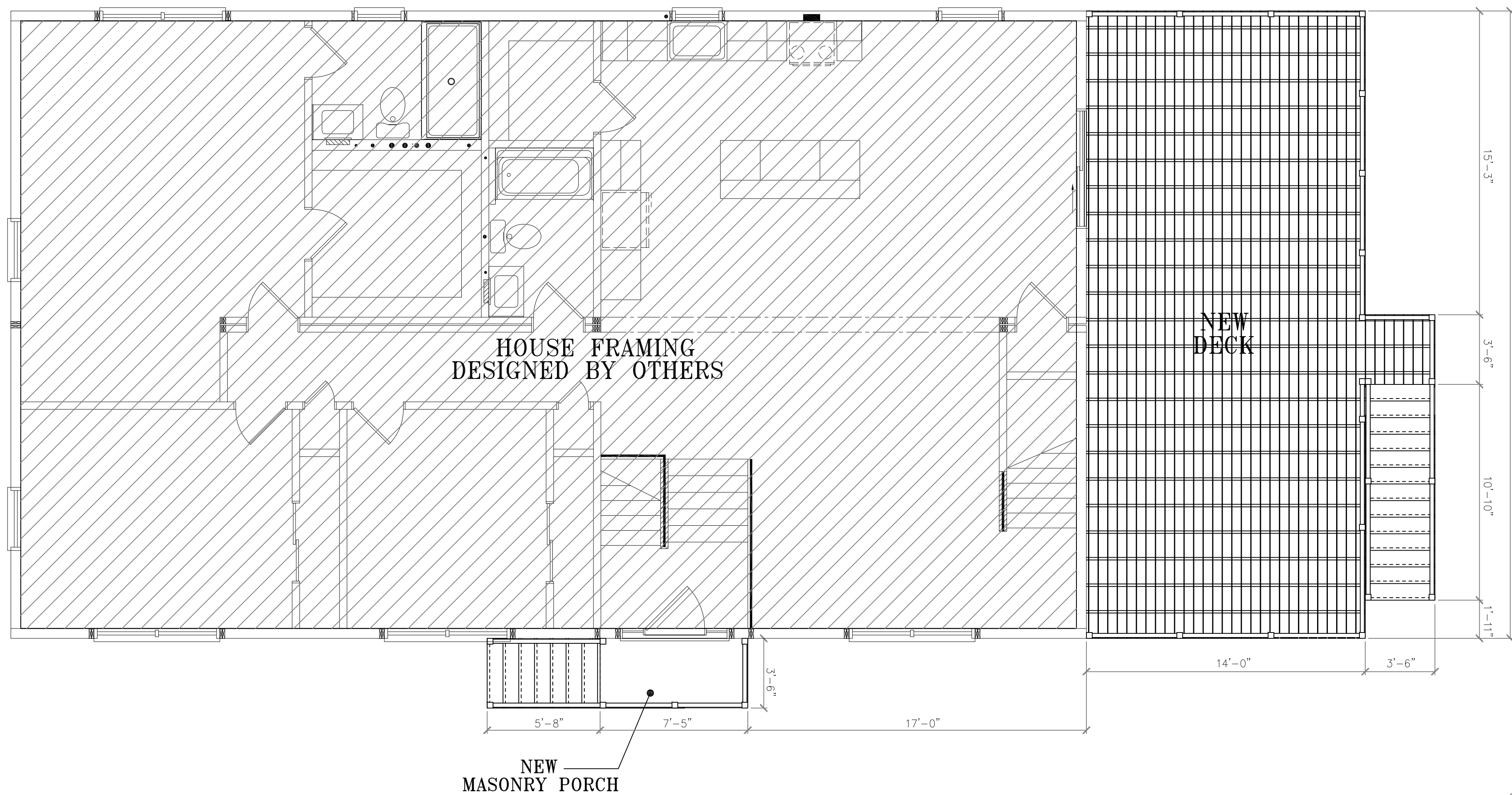
COSENZA RESIDENCE
17 LANCASTER AVE.
MONTROSE, NY 10548

PROPOSED FOUNDATION/DECK/BASEMENT WINDOWS
AND GARAGE DOORS FOR NEW HOME CONSTRUCTION

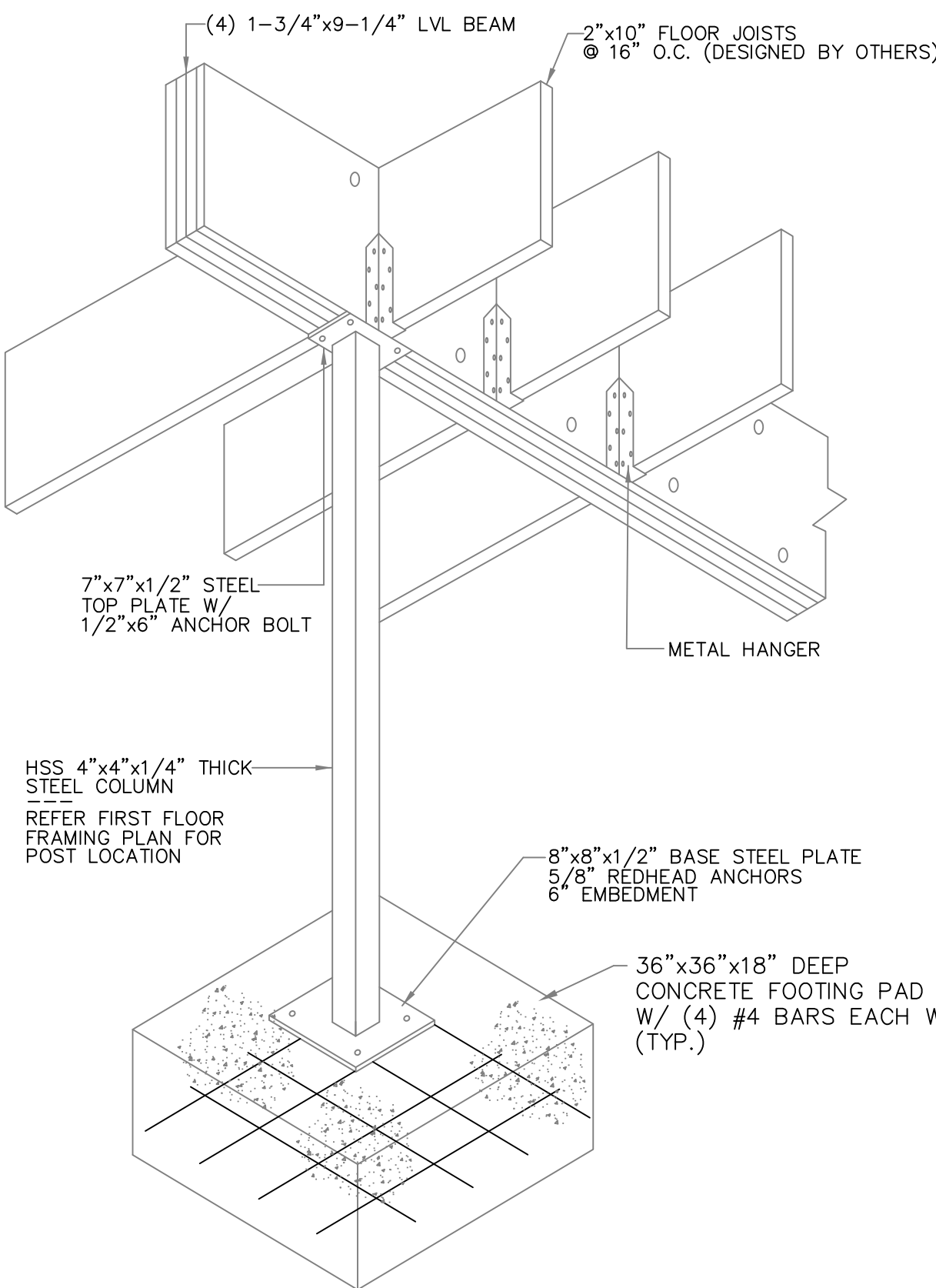
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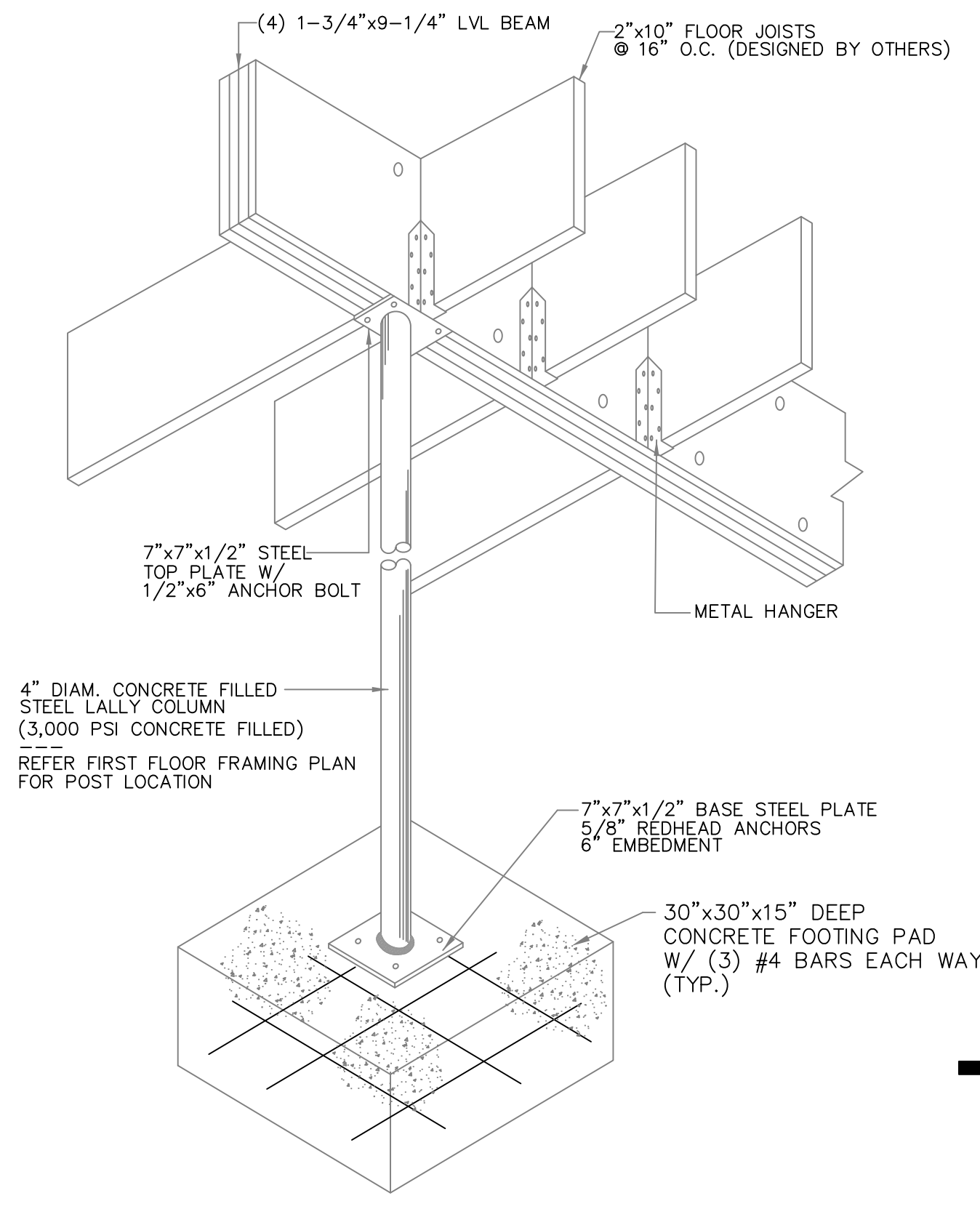
PROJECT NO.
CRTLND-17LAN-NFOUN



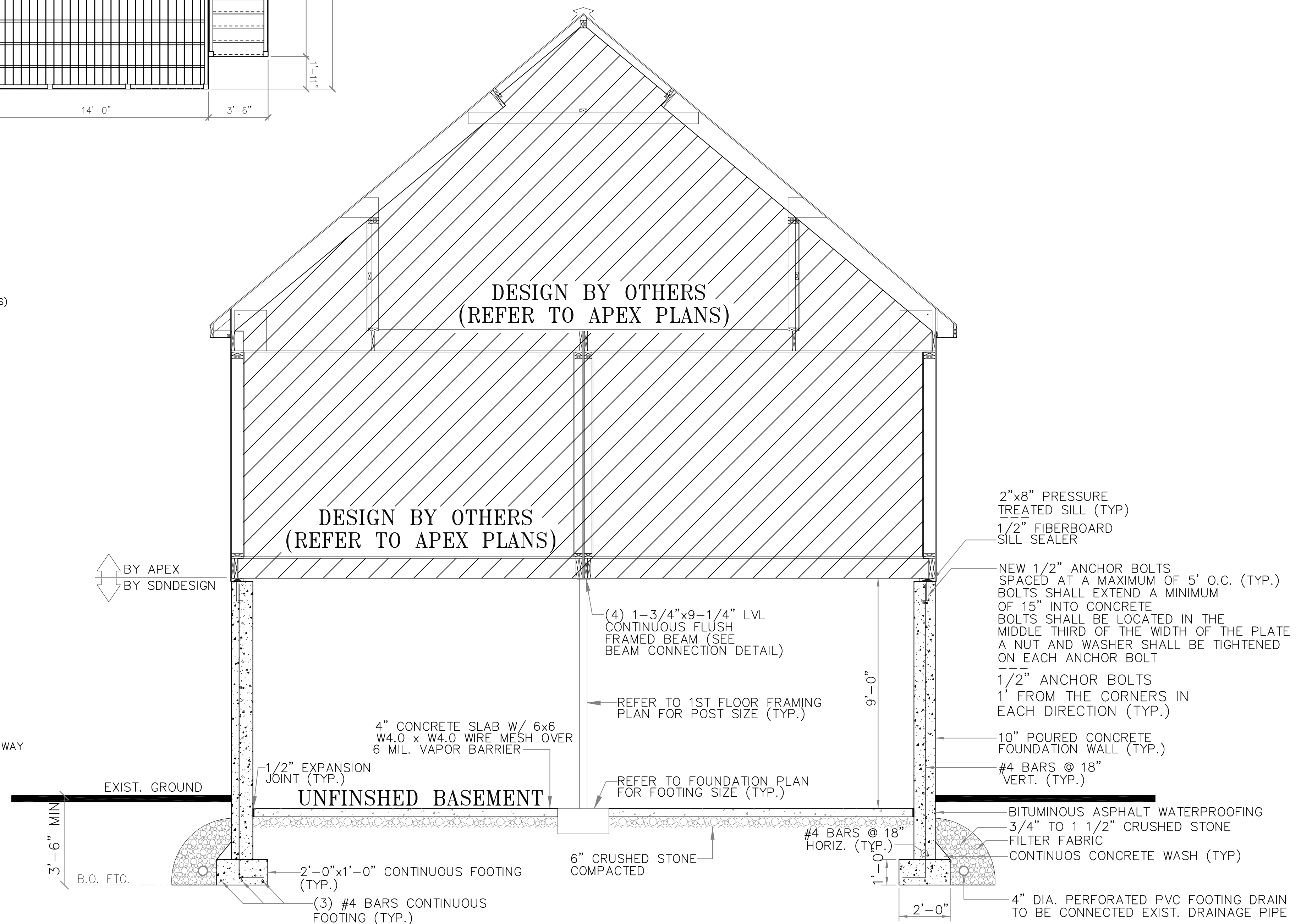
PROPOSED DECK PLAN/FRONT PORCH PLAN
SCALE 1/4" = 1'-0"



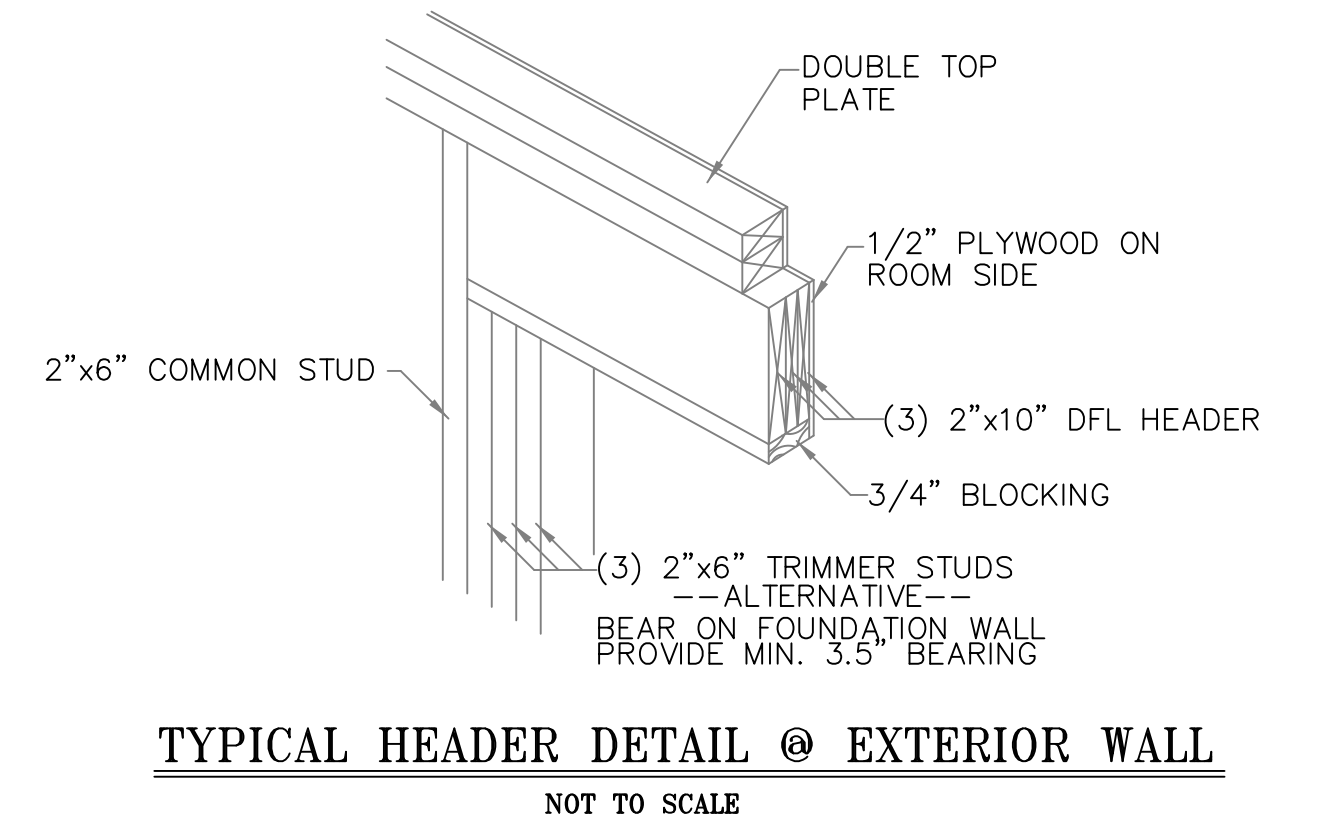
HSS STEEL COLUMN AND FOOTING CONNECTION DETAIL
NOT TO SCALE



LALLY COLUMN AND FOOTING CONNECTION DETAIL
NOT TO SCALE



TYPICAL SECTION
SCALE 3/8" = 1'-0"



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N.Y.P.E. LIC. NO. 111040 DATE

ANDY CHEUNG, P.E.

N.Y.P.E. LIC. NO. 084461 DATE

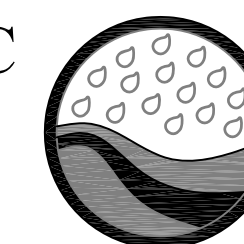
REV	DATE	DESCRIPTION

DRAWN BY: SDN DESIGN
DESIGNED BY: SDN DESIGN
CHECKED BY: AC
APPROVED BY: AC
JANUARY 8 2026
DATE CREATED

AC ENGINEERING, PLLC

SOMERS, NY 10589

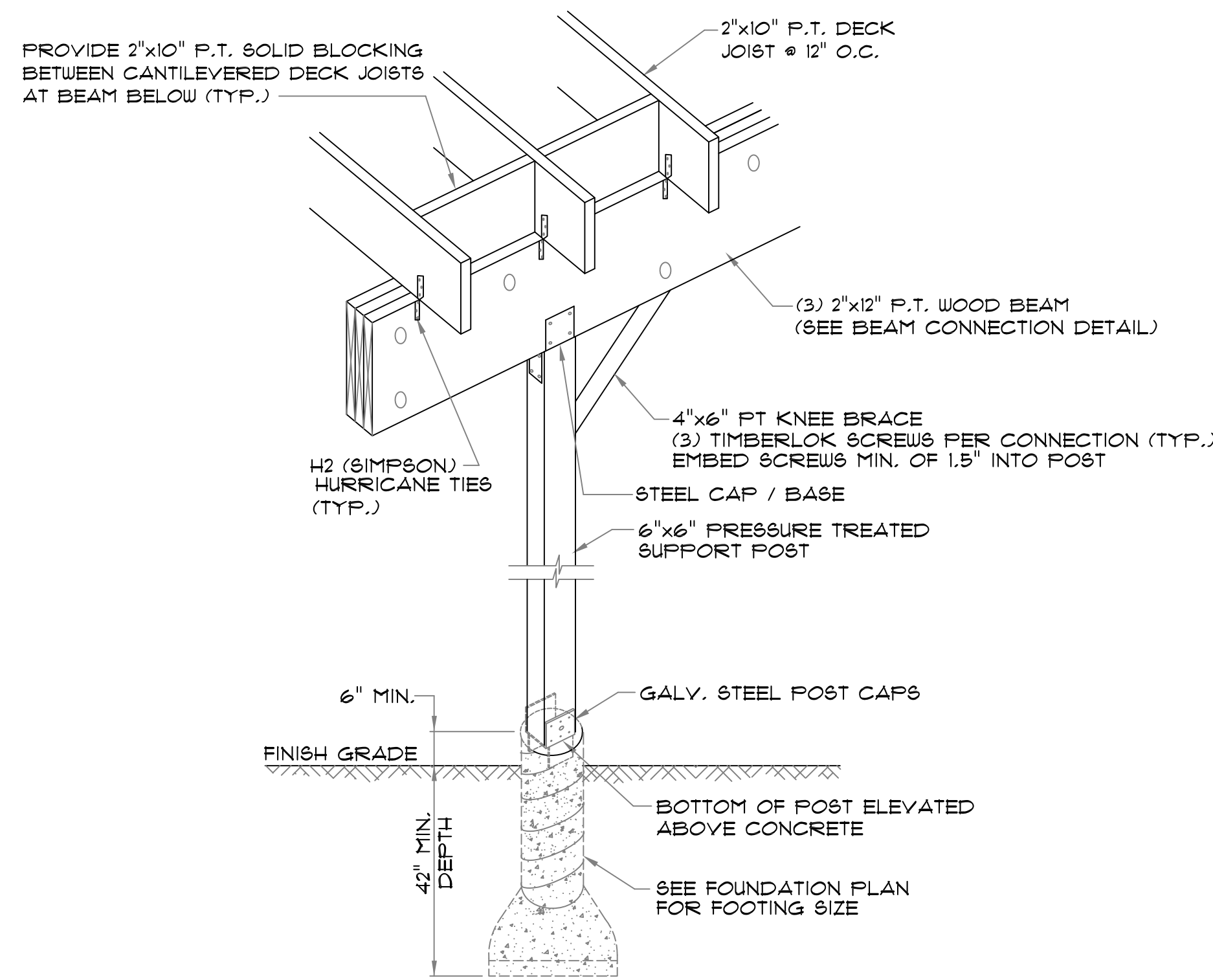
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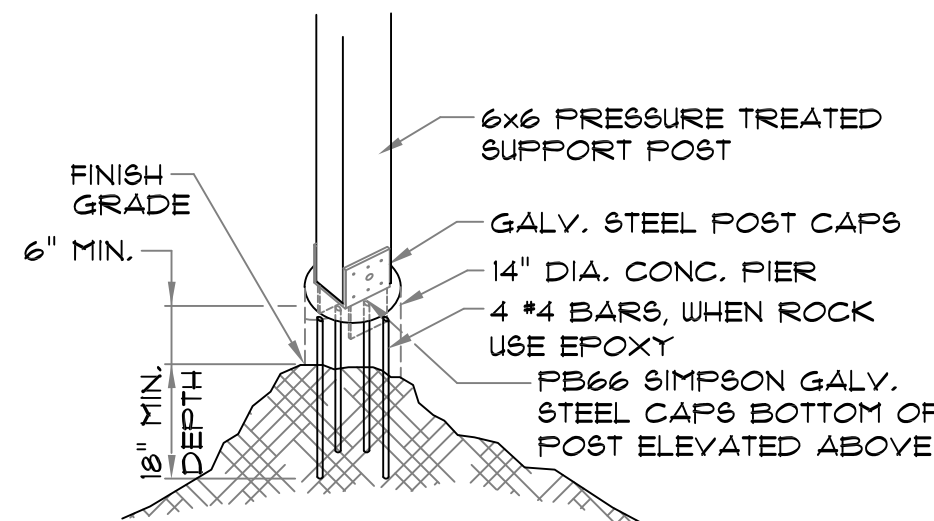
COSENZA RESIDENCE
17 LANCASTER AVE.
MONTROSE, NY 10548

PROPOSED FOUNDATION/DECK/BASEMENT WINDOWS
AND GARAGE DOORS FOR NEW HOME CONSTRUCTION

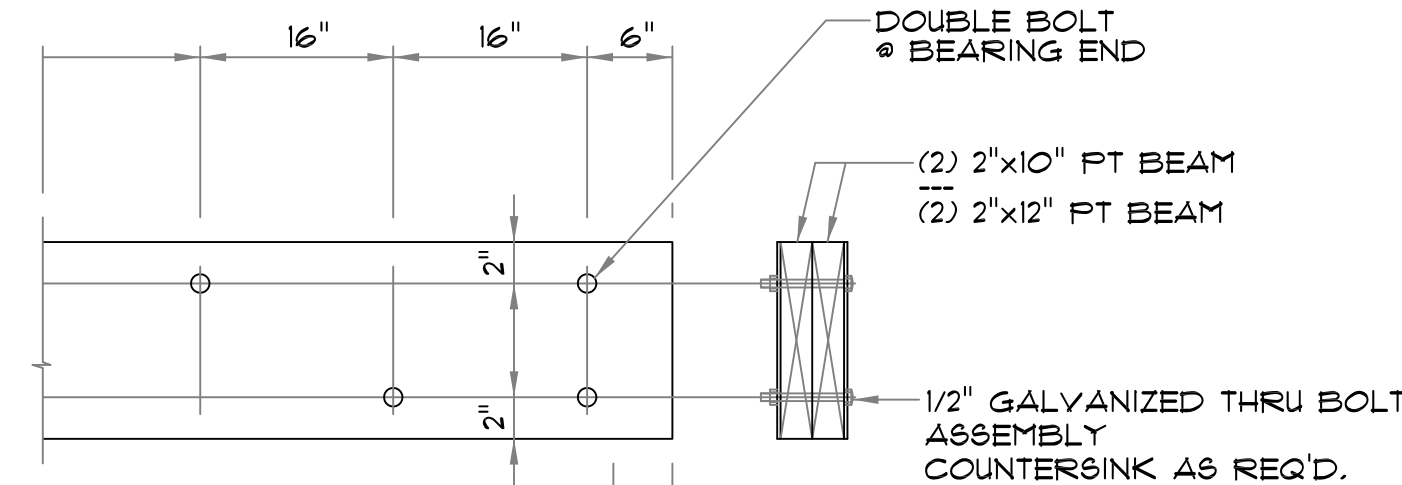
DRAWING NO.
A-3
PROJECT NO.
CRTLND-17LAN-NFOUN



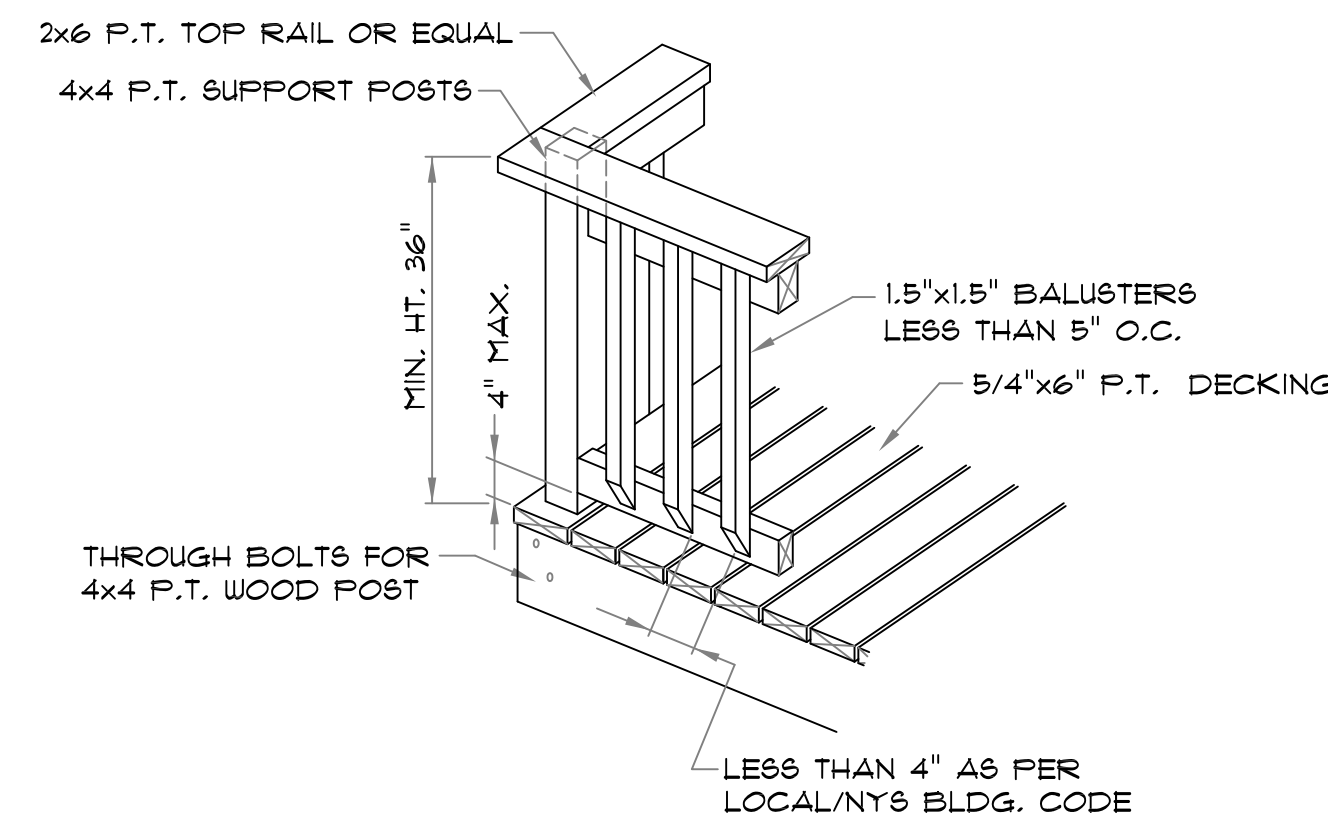
POURED FOOTING W/ TREATED POST, BEAM AND JOIST DETAIL
NOT TO SCALE



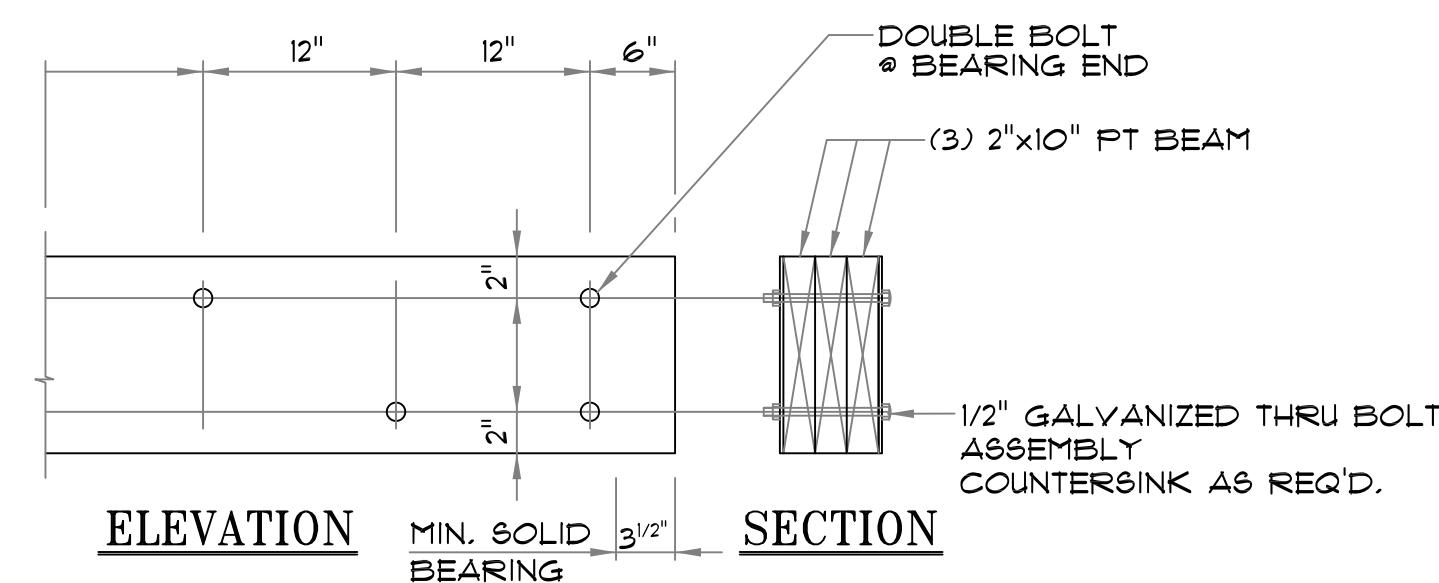
POURED FOOTING W/ TREATED POST IN ROCK
NOT TO SCALE



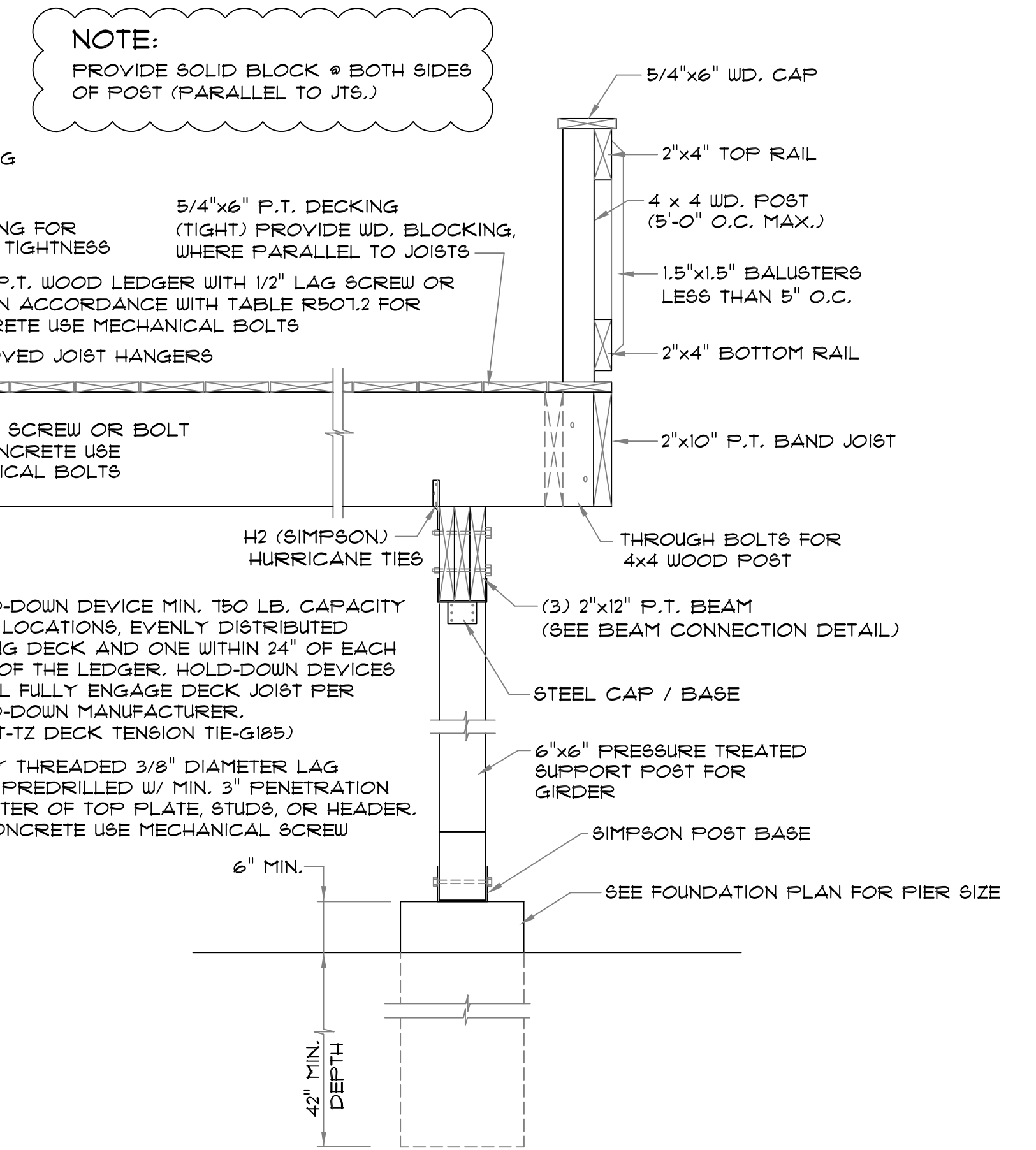
(2) 2x10 & 2x12 P.T. BEAM CONNECTION DETAIL
NOT TO SCALE



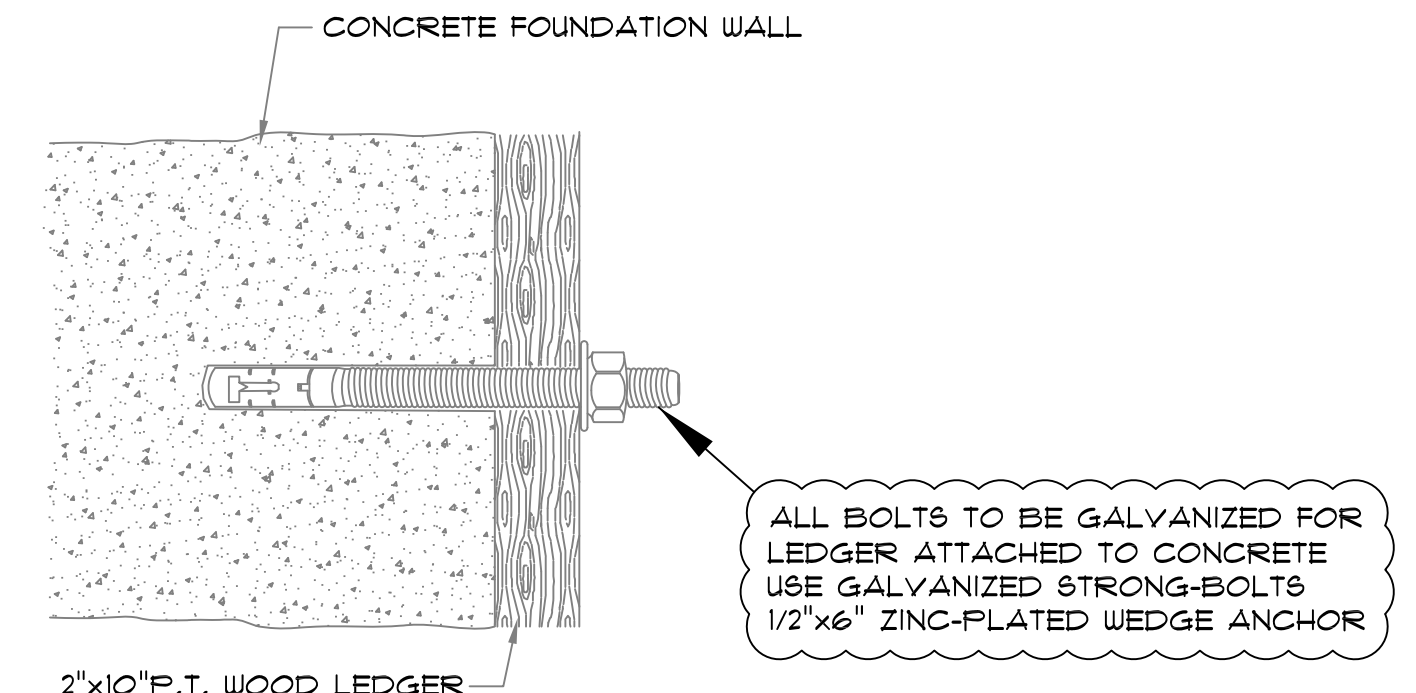
TYPICAL RAILING DETAIL
NOT TO SCALE



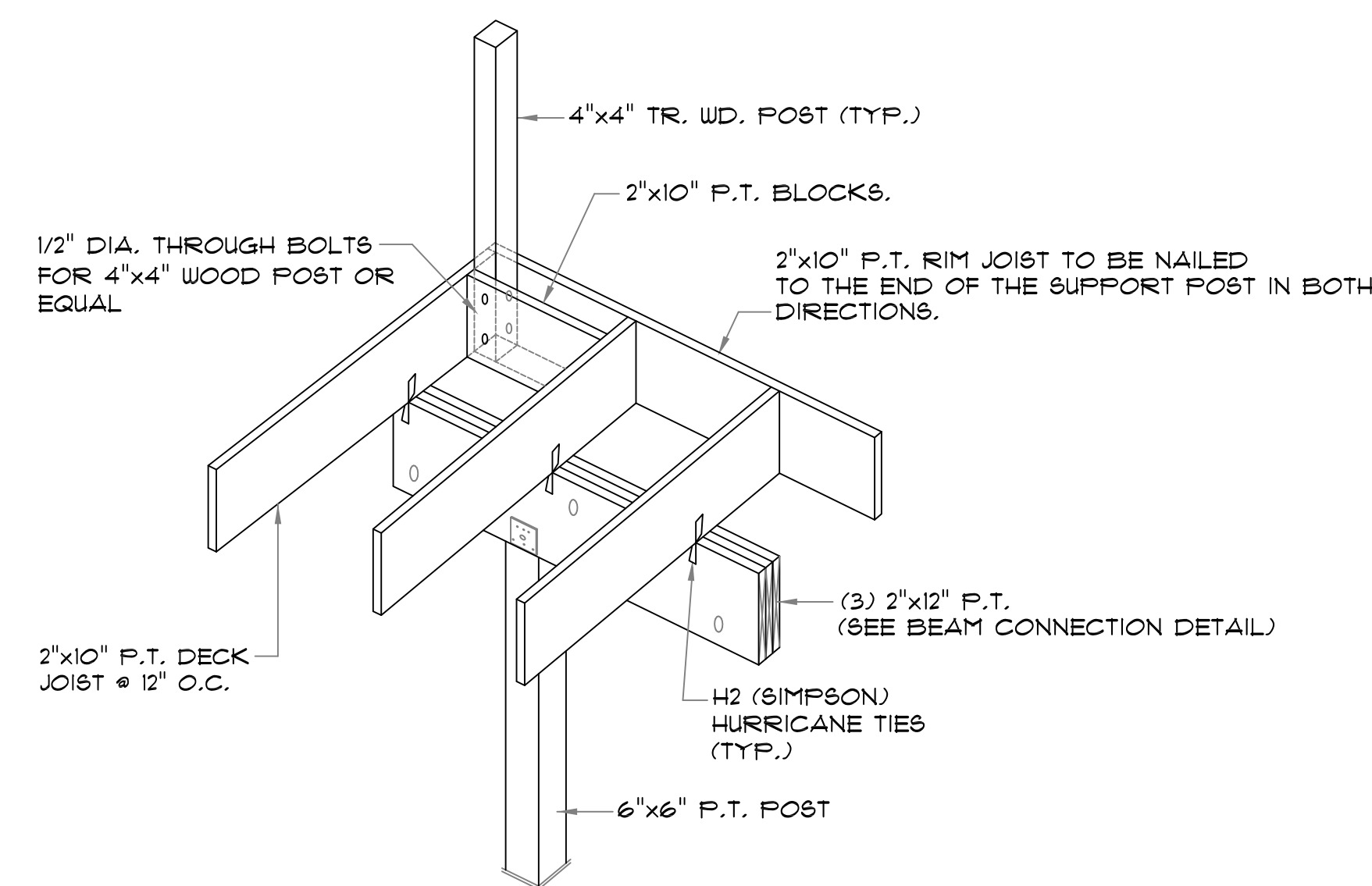
(3) 2x12 P.T. SUPPORT BEAM CONNECTION DETAIL
NOT TO SCALE



WOOD DECK DETAIL
NOT TO SCALE



WOOD LEDGER ACCORDANCE WITH FIGURE R507.9.1.3 (1)
NOT TO SCALE



GUARDRAIL POST BLOCKING CONNECTION DETAIL
NOT TO SCALE

R320.2 HEIGHT

HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM)

R320.3 HANDRAIL PROJECTION

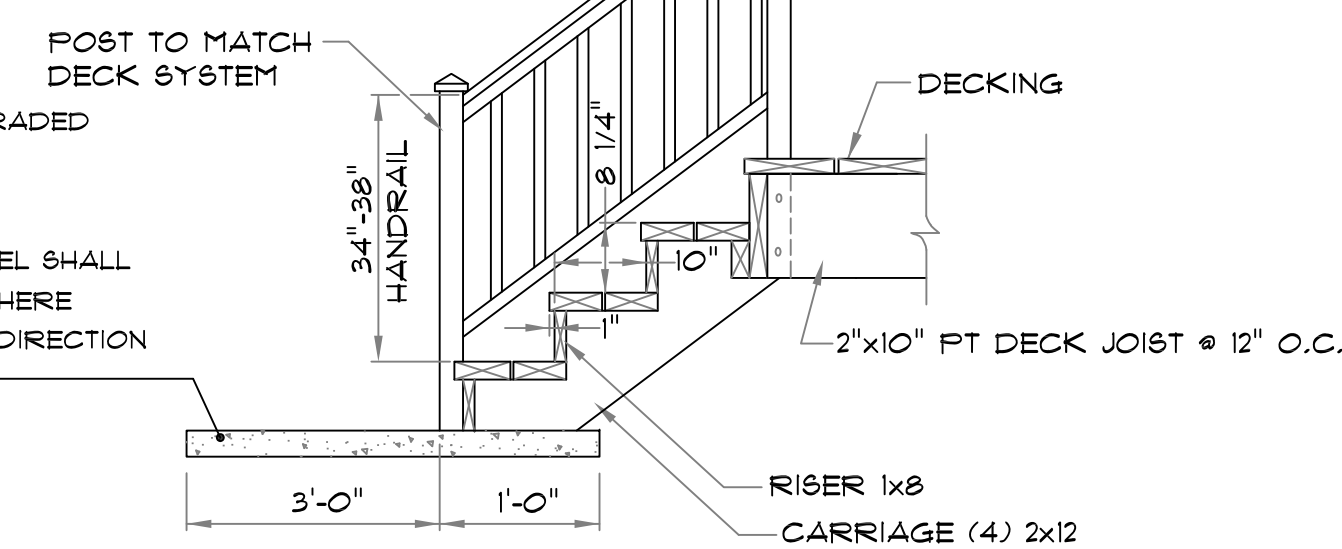
HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY

R506.3.2 BASE PLATFORM

A 4-INCH-THICK BASE COURSE CONSISTING OF CLEAN GRADED SAND, GRAVEL, CRUSHED STONE, CRUSHED CONCRETE

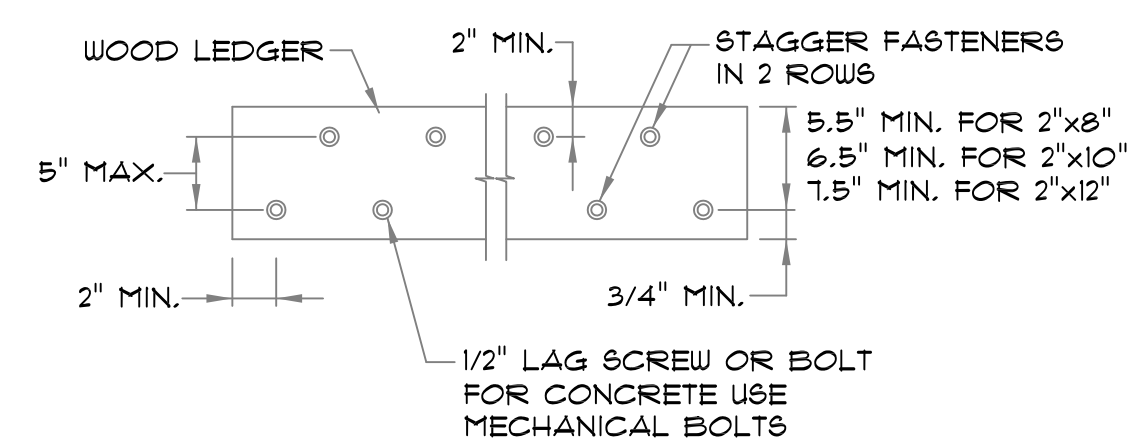
R318.7.6 LANDINGS FOR STAIRWAYS

THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL NOT BE LESS THAN THE WIDTH OF THE FLIGHT SERVED. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL NOT BE LESS THAN 36 INCHES



SCHEMATIC OF CARRIAGE STAIRS
NOT TO SCALE

DISTANCE SHALL BE PERMITTED TO BE REDUCED TO 4.5" IN LAG SCREWS ARE USED OR BOLT SPACING IS REDUCED TO THAT OF LAG SCREWS TO ATTACH 2"x8" LEDGERS TO 2"x8" BAND JOISTS.



WOOD LEDGER ACCORDANCE WITH FIGURE R507.9.1.3 (1)
NOT TO SCALE

WARNING: IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

DRAWN/DESIGNED BY:
SDN
DESIGN & CONSULTANT LLC.
EMAIL: sdn@sdnllc.com
Tel. 914-232-0517

DAVID GUERRERO, P.E.
N.Y.P.E. LIC. NO. 111040
DATE

ANDY CHEUNG, P.E.
N.Y.P.E. LIC. NO. 084461
DATE

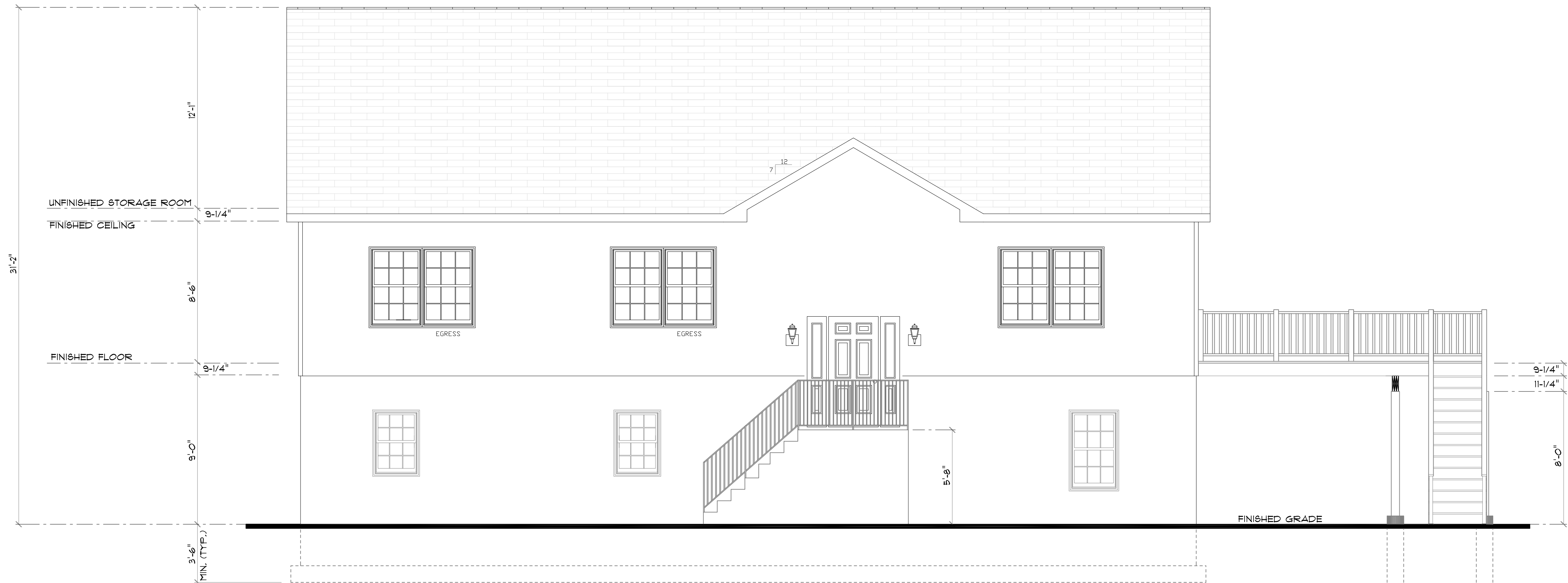
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DESIGNED BY: SDN DESIGN
CHECKED BY: AC
APPROVED BY: AC
JANUARY 8 2026
DATE CREATED

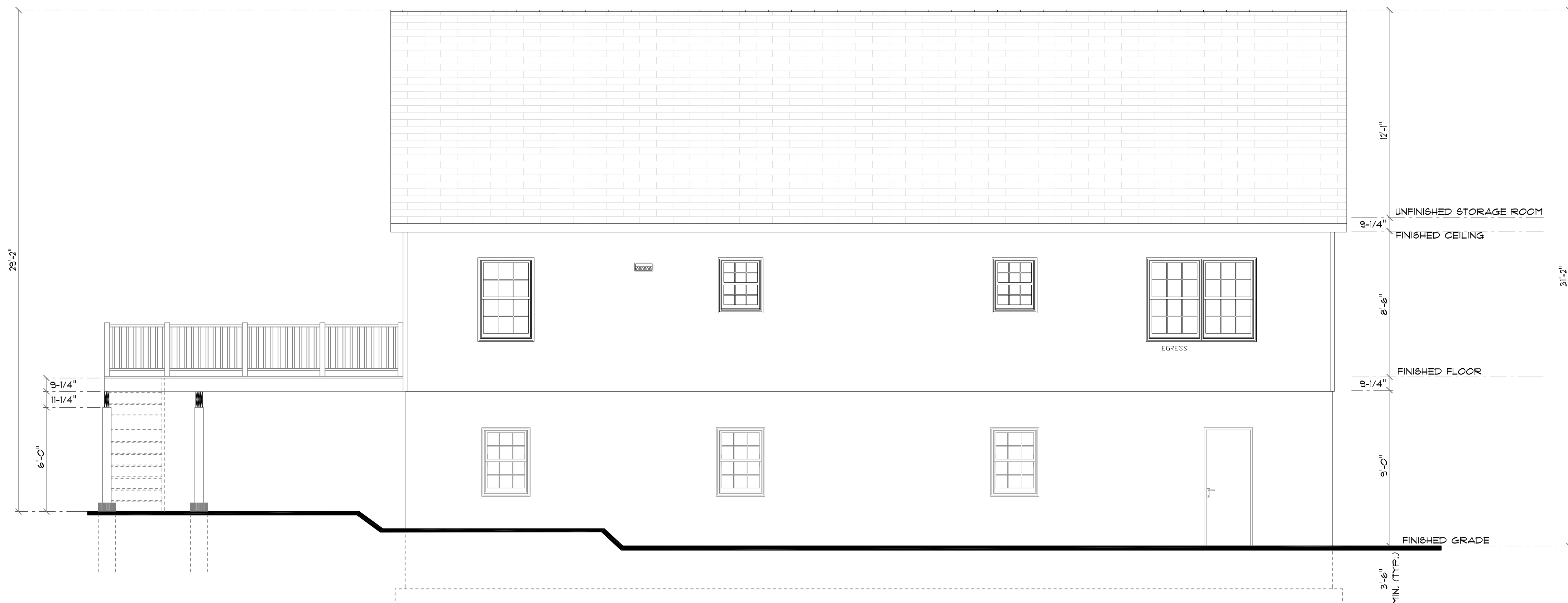
AC ENGINEERING, PLLC
SOMERS, NY 10589
EMAIL: [REDACTED]

COSENZA RESIDENCE
17 LANCASTER AVE.
MONTROSE, NY 10548
PROPOSED FOUNDATION/DECK/BASEMENT WINDOWS AND GARAGE DOORS FOR NEW HOME CONSTRUCTION

DRAWING NO.
A-4
PROJECT NO.
CRTLND-17LAN-NFOUN



PROPOSED FRONT ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE 1/4" = 1'-0"

WARNING: IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

DRAWN/DESIGNED BY:

SDN

DESIGN & CONSULTANT LLC.

EMAIL: sdndesign@gmail.com

Tel. 914-232-0517

DAVID GUERRERO, P.E.

N.Y.P.E. LIC. NO. 111040

DATE

ANDY CHEUNG, P.E.

N.Y.P.E. LIC. NO. 084461

DATE

REV	DATE	DESCRIPTION

DRAWN BY: SDN DESIGN

DESIGNED BY: SDN DESIGN

CHECKED BY: AC

APPROVED BY: AC

JANUARY 8 2026

DATE CREATED

AC ENGINEERING, PLLC

SOMERS, NY 10589

EMAIL: info@ac-engineering.com

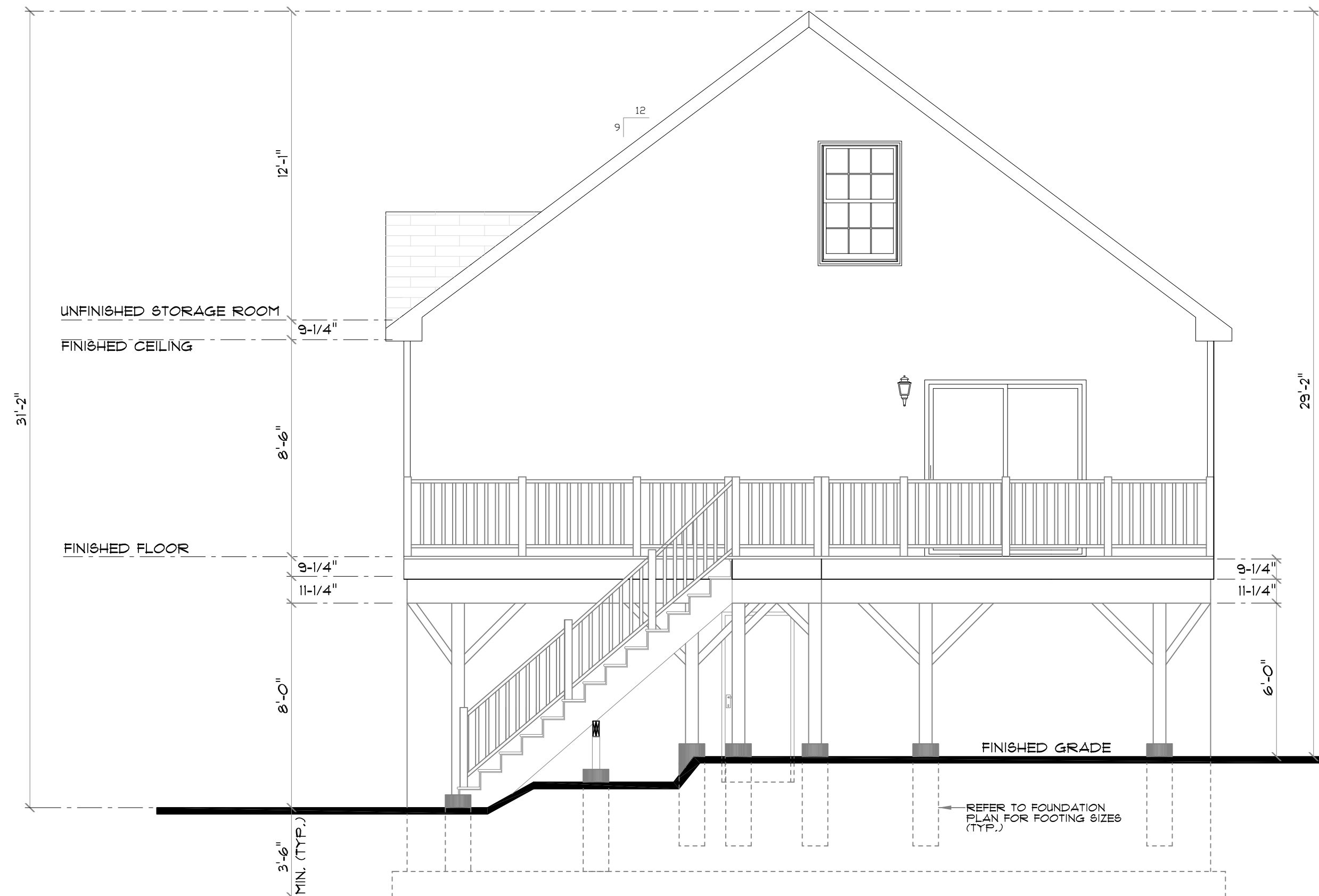
COSENZA RESIDENCE
17 LANCASTER AVE.
MONTROSE, NY 10548

PROPOSED FOUNDATION/DECK/BASEMENT WINDOWS
AND GARAGE DOORS FOR NEW HOME CONSTRUCTION

DRAWING NO.

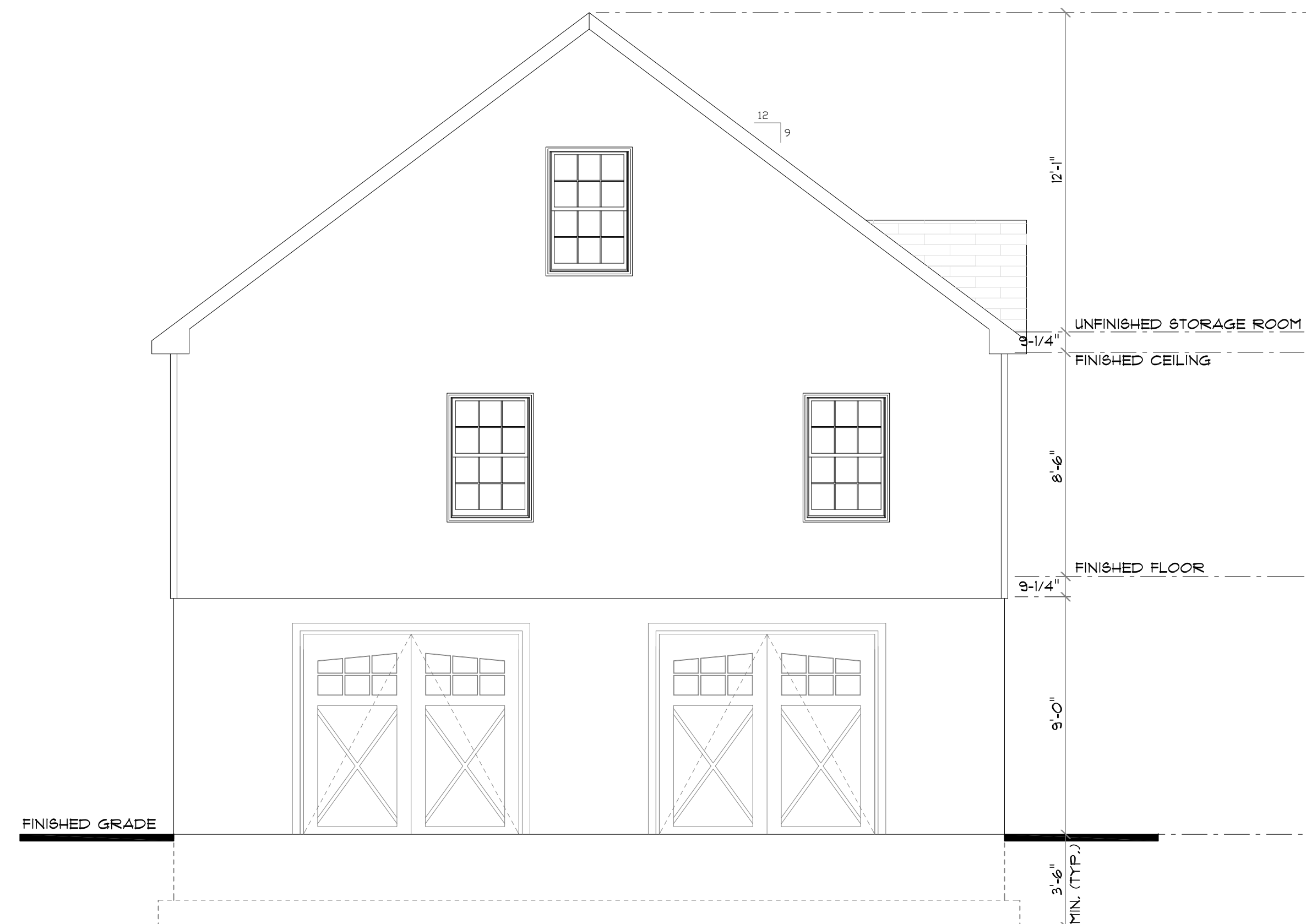
A-5

PROJECT NO.
CRTLND-17LAN-NFOUN



PROPOSED LEFT ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION

SCALE 1/4" = 1'-0"

WARNING: IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

DRAWN/DESIGNED BY:



EMAIL: sdndesign@gmail.com
Tel. 914-232-0517

DAVID GUERRERO, P.E.



N.Y.P.E. LIC. NO. 111040

DATE

ANDY CHEUNG, P.E.

N.Y.P.E. LIC. NO. 084461

DATE

REV	DATE	DESCRIPTION

DRAWN BY: SDN DESIGN

DESIGNED BY: SDN DESIGN

CHECKED BY: AC

APPROVED BY: AC

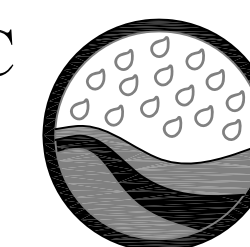
JANUARY 8 2026

DATE CREATED

AC ENGINEERING, PLLC

SOMERS, NY 10589

EMAIL:



COSENZA RESIDENCE
17 LANCASTER AVE.
MONTROSE, NY 10548

PROPOSED FOUNDATION/DECK/BASEMENT WINDOWS
AND GARAGE DOORS FOR NEW HOME CONSTRUCTION

DRAWING NO.

A-6

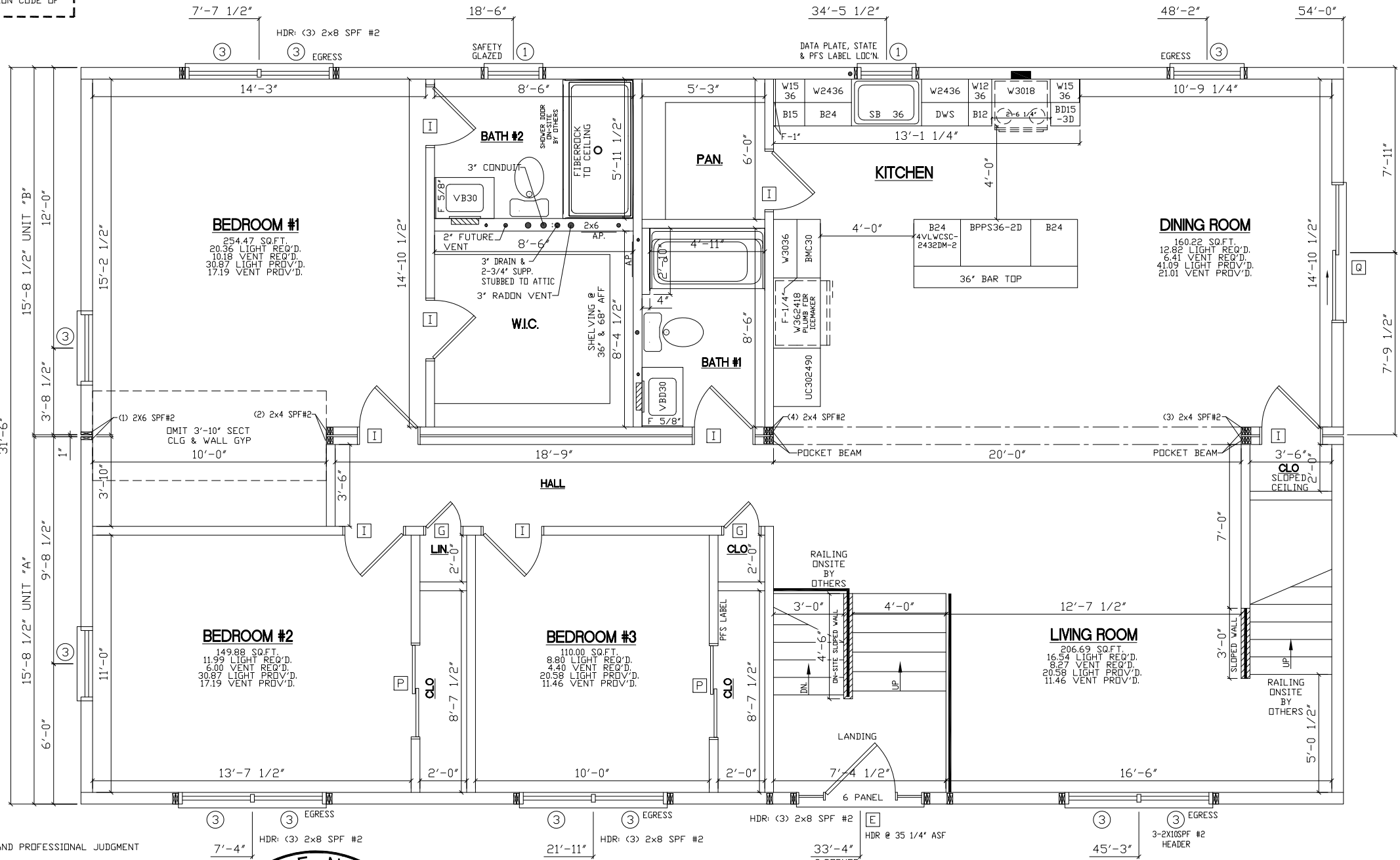
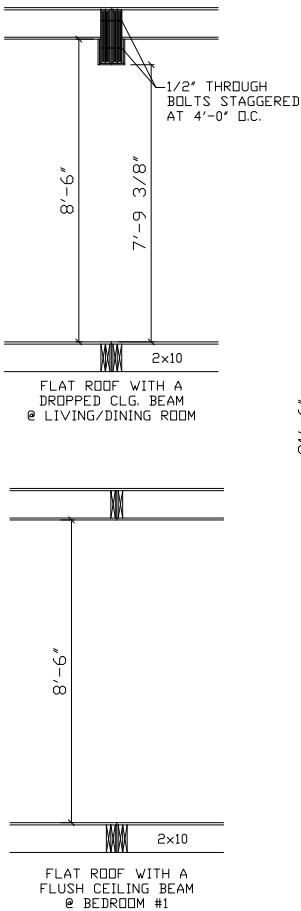
PROJECT NO.
CRTLND-17LAN-NFOUN

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED
BUILDING SYSTEMS FILED WITH THE STATE (DWP 5/23/24)

NEW YORK CODES
2020 NEW YORK STATE UNIFORM FIRE PREVENTION AND
BUILDING CODE (WHICH INCORPORATES BY REFERENCE)
2020 RESIDENTIAL CODE OF NYS
2020 ENERGY CONSERVATION CONSTRUCTION CODE OF
NYS 2017 NATIONAL ELECTRICAL CODE

GLENCO SYSTEM CALC'S:
ALL EXT. LOAD BEARING HDR'S WITH
SPAN OF 5'-0" OR LESS WILL BE (3)
2x6 SPF #2 ALL OTHERS WILL BE
SPECIFIED. ALL REQUIRED JACK STUDS
SHOWN ARE 2x6 SPF #2.

ALL M/W HDR'S WITH SPAN OF 5'-8"
OR LESS WILL BE (4) 2x6 SPF #2
ALL OTHERS WILL BE SPECIFIED.

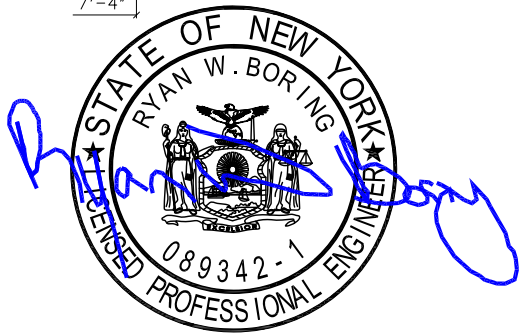


*TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT

1. THIS FACTORY MANUFACTURED HOME (FMH) PLAN HAS BEEN DERIVED FROM
A SYSTEM SET OF FMH PLANS PREVIOUSLY APPROVED BY DOS, APPLICATION
NO. M1168-2022-075, MANUFACTURER'S NO. M1168, WHICH HAS NOT BEEN
MODIFIED IN ANY MANNER.

2. THE ENERGY PORTION OF FMH PLAN HAS BEEN PREPARED USING CHAPTER
5 OF NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE
(ENERGY CODE) AND IS IN FULL COMPLIANCE WITH THE ENERGY CODE

IT IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE
EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE
DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER
THE DRAWINGS IN ANY WAY TO CHANGE THE STRUCTURAL DESIGN
OR INTENT. IF A DRAWING BEARING THE SEAL OF AN ENGINEER IS
ALTERED, THE ALTERING ENGINEER SHALL AFFIX HIS SEAL TO
THE DRAWING WITH A NOTATION * ALTERED BY * FOLLOWED BY
HIS SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC
DESCRIPTION OF THE ALTERATION.



Aug 31, 2025

NOTES:

2. HEAT SYSTEM ON-SITE BY OTHERS
3. ANDERSEN 200 SERIES WINDOWS
4. 1ST FLOOR SQUARE FOOTAGE = 1701 SQ/FT

5. 8'-6" 1ST FLOOR CEILING HEIGHT
6. 9/12 STORAGE RAFTER ROOF SYSTEM @ 16" O.C.
7. MW HEADER IN LIVING/DINING ROOM TO BE (4) 1 1/2"x18" LVL (2 EACH UNIT)
8. MW CLG BEAM IN BEDROOM #1 TO BE (2) 1 1/2"x9 1/4" LVL (1 EACH UNIT)
- 9.

GREEN TEK LAND AND SITE LLC/18 TRAVIS AVENUE LLC			3254 CUSTOM RANCH 1ST STORY FLOOR PLAN		FILE NO: A18381(17)
BUILDING LOCATION: 17 LANCASTER AVE. MONTROSE NY 10548 WESTCHESTER COUNTY			SEISMIC DESIGN CATEGORY: B	WIND LOAD: 21 PSF	LAYER: SH1 /FP1
SNOW ZONE: 30 PSF			WIND ZONE: 130 (VULT)	SCALE: 3/16"= 1'-0"	

STAGE	DATE	DRAWN BY
S.T.F.	6/25/25	ACS
REV. FINAL	7/28/25	KND
APPROVAL	8/26/25	KD
-	-	-
-	-	-
-	-	-

THE PEAK OF
PERFECTION
APEX
HOMES of PA, LLC.
7172 ROUTE 522
MIDDLEBURG, PA 17842
PHONE: (570) 837-2333



QN-18381/JN-86654/NY

Architectural floor plan of a Bonus Room. The room is rectangular with overall dimensions of 54'-0" wide by 31'-6" deep. The plan is divided into two main sections by a horizontal dashed line. The upper section is 15'-9" deep and contains a sloped ceiling and the text "NO DOORS BEYOND THIS POINT". The lower section is 15'-9" deep and also contains a sloped ceiling and the text "NO DOORS BEYOND THIS POINT". The width of the lower section is dimensioned as 49'-1 1/2". A vertical dimension of 18'-5" is shown on the left side, spanning from the top of the lower section to the top of the upper section. On the left wall, there is an egress door labeled "EGRESS" with a circled "3" next to it. In the center of the room, the text "BONUS ROOM" is followed by the following specifications: 940.08 SQ.FT., 75.21 LIGHT REQ'D., 37.60 VENT REQ'D., 21.60 LIGHT PROV'D., and 11.52 VENT PROV'D. Below these specifications, it states "ADD'L LIGHT AND VENT REQUIRED PER R303 (ON-SITE BY OTHERS)". On the right side, there is a staircase labeled "DN" with a circled "3" next to it. The staircase is 9'-3 1/2" wide and 3'-6" deep. The room is bounded by a wall on the right side, which is labeled "SAFETY GLAZED" with a circled "3" next to it. The room is also bounded by a wall on the top side, which is labeled "SAFETY GLAZED" with a circled "3" next to it. The room is also bounded by a wall on the bottom side, which is labeled "SAFETY GLAZED" with a circled "3" next to it.

 R-13 INSULATION INSTALLED IN UNFINISHED CAPE STAIR WALLS

STAGE	DATE	DRAWN BY
S.T.F.	6/25/25	ACS
REV. FINAL	7/28/25	KND
APPROVAL	8/26/25	KD
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

 THE PEAK OF
PERFECTION

APEX
HOMES of PA, LLC.

7172 ROUTE 522
MIDDLEBURG, PA 17842
PHONE: (570) 837-2933

1.4.1

BUILDING LOCATION:		SEISMIC DESIGN CATEGORY:	3254 CUSTOM RANCH 2ND STORY FLOOR PLAN	
17 LANCASTER AVE. MONROSE NY 10548 WESTCHESTER COUNTY		B		
SNOW ZONE: 30 PSF	WIND ZONE: 130 (VULT)	WIND LOAD: 21 PSF	SCALE: 3/16" = 1'-0"	LAYER: SH2/FP2
			FILE NO:	A18381(17)

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: Walsh

ZBA Case #: 2026-8

Name of Applicant: Steven J. Basini, RA on behalf of owners

Owner: Lauro and Alicia Uruchima

Address of property: 10 Croton Avenue

Section, Block, Lot: 34.6-3-34

Prior ZBA Case No.: N/A

Zone: R-G

Lot Size: 20,595 SF

Variance(s) Requested: Area variance per §307-17 Attachments 3 - Table of Dimensional Regulations in Residential Districts, as follows:

Front Yard Setback:

Minimum required = 30'

Proposed = 14.52'

Relief sought = 15.48' (52%)

Staff Comments: The Code Enforcement office received a building permit application for the construction of a 441 SF addition to an existing single-family residence. The existing residence is a pre-existing, dimensionally non-conforming structure regarding the front yard setback; it sits very slightly askew on the lot, with the northwest corner of the home set back 13.88' from the front property line, and the southwest corner of the home set back 14.52' from the front property line. The proposed addition wraps around the southern end of the existing home, with the portion of the addition façade facing the street in alignment with the façade of the existing home.

SEQR: TYPE II – No further compliance required.

Aerial View - 10 Croton Avenue



Street Views, 10 Croton Avenue





TOWN OF CORTLANDT

DEPARTMENT OF TECHNICAL SERVICES

Michael Preziosi, P.E.
Director D.O.T.S.

John Schembari
Dir. Code Enforcement

Arthur D'Angelo, Jr., P.E.
Deputy Dir. D.O.T.S.

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914-734-1060
Fax #: 914-734-1066

Town Supervisor
Richard H. Becker, M.D.

Town Board
James F. Creighton
Cristin Jacoby
Robert E. Mayes
Joyce White

RE: **Zoning Denial Letter**

Permit #A-26-569– Proposed 441 Sq. Ft. addition for a single-family residence.

10 Croton Ave.

Cortlandt Manor Ny, 1056

Tax ID: 34.6-6-34

Dear Steve Basini,

The Town of Cortlandt Department of Technical Services has completed its review of the above-referenced application for compliance with the Town's Zoning Code, page A-100 by SJB Architecture and Design.

At this time, the application has been denied pursuant to Town Code Chapter 307 – Zoning, Attachment 3, Table of Dimensional Regulations (Residential Districts). The submitted plans demonstrate that, within the R-G Zoning District, the front yard setback cannot be met.

As a result, your application to the Zoning Board of Appeals will require area variance for the following:

Front Yard setback: 30 Ft. required.

Existing front yard setback: 13.88 ft. Pre-existing Dimensionally non-conforming.

Proposed addition will be 14.52 feet from front lot line. Requiring a 15.48 ft front yard variance.

Zoning Reference: 307.17 Attachment 3

With this denial, you may now apply online for a Zoning Board of Appeals proceeding. Please upload this denial letter, the referenced plans, and all required information as outlined in the

ZBA Application. All documents must be submitted in PDF format, drawn to scale, and include the digital seal and signature of the design professional of record.

Please upload the following:

1. Property Survey
2. Drawing A-100

Sincerely,

John Schembari
Director of Code Enforcement

Cc:

Heather LaVarnway – Community Development and Planning
Michael Cunningham, P.E. – Deputy Town Attorney
Town Board



Steven J. Basini, RA

June 24, 2026

Michael Fleming, Chairman
Zoning Board of Appeals
Town of Cortlandt
1 Heady Street
Cortlandt Manor, NY 10567

RE: 10 Croton Avenue, Cortlandt Manor, NY 10567
Addition to Single Family Residence
Section 34.6, Block 3, Lot 34

Dear Chairman and Members of the Board:

On behalf of the owners of the above-referenced property, Lauro & Alicia Uruchima, I submit this application to request approval to construct an addition to the ground floor of a single-family residence.

The property is on the east side of Croton Avenue approximately 150 south of the intersection at Route 202/Crompond Road. The existing house extends beyond the allowable front yard setback. Much of the addition is at the rear of the house, however the house will be extended south 5 feet along the same plane as the existing front façade.

The required front yard in an R-G zone is 30 feet. The northern front corner of the house sits at 13.88 feet from the property line. As the house is slightly skewed off the front property line, the southern front corner is 14.52 feet from the same line. The addition will begin at this point, requiring a 15.48 foot front yard variance.

Please take into consideration the following 5 points when reviewing this request:

- (1) Whether an undesirable change will be produced in the character of the neighborhood or whether a detriment to nearby properties will be created by the granting of the variance.

The proposed addition will not produce an undesirable change in the character of the neighborhood nor a detriment to nearby properties. The proposal is to match the existing character, roof line and finishes of the existing house. In addition, the front of the house is screened from the street by an existing 5-foot-high wood fence.

- (2) Whether the benefit sought by the applicant can be achieved by some feasible method other than a variance.

There is no other feasible method to provide more space in the house without adding it as we've proposed. The house currently extends into the front yard 16 feet, making it almost impossible to construct any addition without requiring a variance.

(3) Whether the requested variance is substantial.

The requested variance may seem to be substantial as it's over 50%, however as the house exists on the same plane as the addition and the majority is proposed at the rear of the house, we don't believe this is a significant ask.

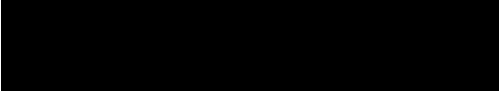
(4) Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

The proposed variance will not have an adverse effect or impact. The addition is a single story, in line with the existing ground floor, is mostly present at the rear of the house, and no environmental impacts exist as the addition will replace an existing impervious deck over the basement and concrete patio.

(5) Whether the alleged difficulty was self-created (this will not necessarily preclude the granting of the area variance)

The difficulty is self-created; however, we feel the need for more space in this modest home is just reason to request this variance and the addition does not extend further into the front yard than the existing structure.

Thank you for your consideration in this matter.



SJB ARCHITECTURE + DESIGN
Steven J. Basini, RA

Survey ⑨



N/F KRUSE

DEED: 117.19'
(comp) 117.69'

S. 3°-33'-00" W.
MEAN E OF STONE WALL

AREA = 20,595 SF

DRAINAGE
EASEMENT

DI

APPROX. LOC. OF DRAIN

DI

FRAME SHED

DEED: 178.88'
(comp) 178.93'

NEW YORK CITY AQUEDUCT

STONE WALL

N. 85°-46'-00" W.

P.F.R.

42.06'

1 STORY FRAME
1 STORY (ROOF)
GAR.

13.88'

SLATE

FENCE

14.52'

117.86'

CROTON AVENUE

POST & RAIL
N. 7°-19'-00" E.

S. 85°-46'-00" E.

N/F BACON

NO POSSESSION

ROUTE 202 (CROMPOND ROAD)

CERTIFIED TO: RESOURCE FUNDING INC.
L&H ABSTRACT CORP.
LH 3166

DRAINAGE EASEMENT AS SHOWN ON
MAP# 30(R-1) DATED SEPTEMBER 12, 1938

SURVEYED: JULY 14, 1984
BROUGHT TO DATE _____
BROUGHT TO DATE _____

JOHN SALVATORE ROMEO
Consulting Engineer & Land Surveyor
1 NORTHRIDGE ROAD
PEEKSKILL, N. Y.

P. E. & L. S. NYS LIC. NO. 027846

Certifications hereon are valid for Bank, Title Co. & Owners for this transaction only. Certifications are not transferable to subsequent Bank, Title Co. or Owners.

All certifications hereon are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

"It is hereby certified that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors."

**SURVEY OF PROPERTY
FOR
LAURENCE & JANET S.
ROSENBLATT**
SITUATE IN THE
TOWN OF CORTLAND
WESTCHESTER COUNTY
NEW YORK

SCALE: 1" = 20'

SURVEYED AS IN POSSESSION

ENCROACHMENTS BELOW GRADE IF ANY NOT SHOWN